

SPECIFICATION OF WORK AND MATERIALS REQUIRED IN THE  
REINSTATEMENT OF FIRE DAMAGE TO BUILDING KNOWN AS  
"ANTRIM HOUSE" SITUATE NO. 63 BOULCOTT ST., WELLINGTON  
THE PROPERTY OF MR K.M. AND MRS. M.E. HICKSON.

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The Contractor is to inspect the building before tendering and is to allow for any work which may not be mentioned under the various headings of this specification, but which is necessary for the reinstatement of the building to a condition as existed before the fire.

The Contractor is to remove all visible traces of fire damage from the building and all smoke stained timbers not removed are to be lime washed.

The Contractor is to inspect all drains, plumbing, building fittings, pipes, taps, services etc. and is to recondition or replace as the case may be, so that all these items are in good order and condition on completion of reinstatement, similar to that existing before the fire.

All timbers and all other materials (except where otherwise specified) where necessary to replace through fire damage, to be replaced similar in size, quality and finish to that existing previous to the fire.

The whole of the workmanship of every trade is to be up to the standard as employed in the building as originally constructed, and neat and proper connection is to be made between new and remaining work.

Remove from the site all fire debris and all builders' rubbish and leave building in a clean and tidy condition on completion of contract.

The Contractor shall obtain and pay for any necessary permits and shall keep all workmen employed on this contract fully insured against accident or death and hold the Owners and Mortgagee entirely free from liability in consequence of any claim or claims under the Workers' Compensation Act or any of its amendments.

In the making up of his tender the Contractor is to make due allowance for all salvage, any material not reused and of a salvage able nature is to become the property of the Contractor.

The reinstatement work will be supervised on behalf of the Owners by Mr Wm. Fielding, Registered Architect, to whose satisfaction the work is to be executed by the Contractor.

ENTRANCE LOBBY.

Clean smoke stains from ceiling and extension and repaint in two-coat work, the last coat tinted to approval. Repair the leaded lights where cracked. The walls where papered are to be stripped of old paper, re-stretch scrim, tack and tape. Line the walls with lining paper and paper out with paper at 10/- per roll. Wash down all varnished wood-work, spirit varnish, and give one coat of copal varnish. Clean the tiled floor and re-set tiles where loose.

HALL.

Clean down the ceiling and extension and repaint in two coat work, the last coat to be tinted to approval. The walls, where papered, are to be stripped of old paper. Stretch scrim and tack and tape. Fix new scrim where necessary. Line walls with a lining paper and repaper with paper at 10/- per roll. Repair any damaged dado panelling. Wash all woodwork, spirit varnish and give one coat of copal varnish. Any new work is to be oiled and stopped where required. Plug holes in floor.

ROOMS 1 & 2.

Clean smoke stains from ceilings and extensions and paint in two coat work, the last coat to be tinted to approval. Walls where papered are to be repapered with paper at 10/- per roll. Wash all smoke stains from woodwork and paint in two coat work, the last coat to be tinted to approval.

The damaged door is to be repaired, or if that is not possible provide and fix new door of similar size and quality. A new lock is required.

STAIRWAY AND WELL.

Remove all of the burnt dado, architraves, pilasters and soffitt to archway, and renew with similar timbers. Take off all the damaged rough lining to walls and renew with similar size and quality. Supply and fix a new 2-light, double hung sash and frame to stairwell in all respects similar to that destroyed. Note: sashes are to be glazed with leaded light at 7/6 per foot.

Contractor may allow to use Gibraltar wall board or fibrous plaster in lieu of rough lining and scrim. If lined with wood, scrim with No. 2 scrim and tack and tape as required. Paper walls with paper at 10/- per roll. If lined with other material, flush up joints and paper at 10/- per roll. Paper is to be butt jointed. Before papering give a coat of glue size.

The ceiling destroyed was of a stamped steel pattern. A fibrous plaster ceiling with cornice may be fixed in lieu thereof, the design to be chosen by the owner.

The spanrail of stair is to be repaired. The stairs are to be re-built with all balustrades and handrails, the same as those destroyed. Any materials not damaged may be re-used.

Repair statuette and refix on newel post.

Clean out cupboard under stairs.

The shower rooms, W.C. and wash-basin room in Annex are to be washed down of smoke stains and painted out in two coat work and one of enamel.

DINING ROOM (No. 3)

Wash down the ceiling and extension and paint out in two coat work, the last to be tinted to approval. The walls are to be repapered with 7/6 per roll paper. Clean down, spirit and copal varnish all the wood-work.

SITTING ROOM OFF DINING ROOM (No. 4)

Wash down the ceiling and extension and distemper with as many coats as will give a satisfactory finish. Clean the wood-work and repaint in two coat work. Repair the lock on outside door.

KITCHENETTE (No. 5).

Wash down and paint out in two coat work and one coat of enamel.

Clean down and paint out the passage in two coat work, the last coat to be tinted to approval.

STOVE ROOM (No. 6)

Wash down and paint out in two coat work, and one coat of enamel.

KITCHEN WITH COAL RANGE (No. 8)

Strip walls and ceiling of present American cloth and replace with some similar material. Clean wood-work and paint out in two coat work, and one coat of enamel.

SCULLERY & PANTRY (No. 7)

All work as for kitchen.

BACK STAIRS.

Renew with similar size and quality timbers where damaged. Also renew all damaged linings to walls and renew ceiling.

Supply new double hung window, also new door and jambs complete, similar in all respects to that destroyed. Renew all of the damaged flooring to landing. Repaint and enamel as before.

FIRST FLOOR LANDING.

Remove all damaged flooring and replace with similar quality timber. The present flooring is Kauri, but Ht. Matai may be used. No straight connecting joint will be allowed between the new and old flooring, and joints must be staggered.

Remove all charred and burnt studs and ceiling joists and renew with a similar quality timber, such as Oregon or B. Ht. Rimu. The lining to walls which has been destroyed was Kauri, but Gibraltar Board or fibrous plaster sheets may be used in lieu thereof. This will necessitate fixing 5 rows of dwangs in the height of walls. The ceiling which was stamped steel, may be replaced in fibrous plaster with cornice to design chosen by the Owner. Renew the panelled dado, skirtings and architrave. These were all of Kauri, but they may be replaced in Ht. Rimu.

Renew the archways to passages with similar size and quality timber, with all necessary pilasters, mouldings etc.

ROOM ON RIGHT HAND, FIRST FLOOR (No. 9)

Provide and fix a new door complete with jambs and architraves. Reglaze sashes. Fix wash basin. Strip walls and ceiling of old paper and paper ceiling at 3/- and walls 5/- per roll. Rescric if and where required. Wash down the wood-work and paint out in two coat work, the last coat tinted to approval.

ROOM ON RIGHT, FRONT OF BUILDING. (No. 10.)

Strip walls and ceiling of old scrim and paper. Rescric using No. 2 scrim, well tacked and taped. Paper ceiling at 3/- per roll and walls at 5/-. Fix wash basin, and renew if required. Reglaze sashes. Supply new door and jamb complete, also architraves. Wash down wood-work and paint out in two coat work. Any new work is to be primed. Do all necessary stopping.

SMALL ROOM FRONT OF BUILDING (No. 11).

Attend to outside door and lock. Provide new door and jambs complete, also architraves. Attend to wash basin. Wash down wood-work and paint in two coat work, the last to be tinted to approval. Reglaze door. Repaper walls and ceiling at 5/- per roll. Rescric where required.

ROOM ON LEFT (No. 12).

Rescric where necessary and paper out at 5/- per roll. Provide new door and jambs complete, also architrave. Clean the wood-work of smoke stains and paint in two coat work, the last coat to be tinted to approval. Clean all glass and mirrors. Attend to wash basin.

BEDROOM ON LEFT (No. 13).

Strip ceiling and walls of old scrim and paper. Rescric tack and tape using No. 2 scrim. Paper at 5/- per roll. Provide new door and jambs complete. New architrave is required to door opening. Burn off or otherwise clean all blistered paint and paint out in two coat work, the last coat to be tinted to approval. Attend to wash basin. Repair floor. Reglaze sashes.

BEDROOM. LEFT (NO. 14).

Remove all damaged lining and fix new of similar quality. Provide new door and jambs complete. Renew all skirting and architraves as required. Provide new sashes and frames as per ones destroyed.

Strip walls and ceiling of old scrim and paper out at 5/- per roll. Paint all new wood three coats, old work two coats, the last coat tinted to approval. Supply and fix a new wash basin similar to one destroyed, with all necessary taps and waste pipes.

PASSAGES.

The ceilings were of stamped steel. These may be renewed with fibrous plaster and cornices. The linings have all been damaged and will need removing. Fix in lieu thereof  $\frac{3}{8}$ " Gibraltar board or fibrous plaster sheets. The finished surface after having all nail holes and joints stopped, is to be sized and papered with 5/- per roll paper. A new doublehung window is required. All new architraves to door opening and new skirting are to be fixed. Renew the dado with similar timber, but if Kauri is unprocureable, use Ht. Rimu. Renew the archways.

ROOM AT END OF PASSAGE (No. 15).

Strip the walls and ceiling of old paper, tighten scrim and tack and tape. Repaper ceiling at 3/- per roll. and walls at 5/- per roll. Fix new door and jambs complete. Wash down wood-work and paint out in two coat work, the last coat to be tinted to approval. Attend to the wash basin.

W.C.

Reglaze the sashes. Burn off all blistered paint and paint out in two coats, the last coat tinted to approval. Fix new door and jambs. Attend to flushing system. Clean W.C. pan.

BATHROOM.

The present ceiling which is of lath and plaster may be renewed with fibrous plaster. The walls at present are tiled with a glass tile, now unprocureable. They may be lined with tiled pattern fibrous plaster. Clean the wash basin: provide and fix anew bath of similar size, quality and shape. See to all fittings such as taps and waste pipes, renewing if required. Reglaze sash with obscure glass. New door and jambs required. All woodwork is to be burnt off or otherwise cleaned.

The whole of the new plaster ceiling and walls are to be sized and painted out in three coat work, and one coat of enamel. The wood work where burnt off is to be primed and painted in three coats and one of enamel.

LINEN CUPBOARD AT TOP OF STAIRS.

Renew entirely door, jambs, architraves, ceiling and shelves, all as previously existed.

ROOM ON SOUTH SIDE OF PASSAGE (No. 17.)

Remove the old scrim and paper. Rescrim with No. 2 scrim well stretched, tacked and taped. Paper ceiling at 3/- per roll, and walls at 4/- per roll. Fix new door and jambs complete. The wood-work is to be washed down and painted out in two coat work.

BEDROOM (No. 18).

All as for Room No. 15.

W.C. WITH DOUBLE DOORS.

Clean the pan, seat and all plumbing work. Reglaze the window. Fix new doors. Clean the wood-work and repaint out in two coat work.

LINEN PRESS.

Provide and fix new door complete. Wash out and paint in two coat work, the last coat to be tinted to approval.

BATHROOM (No. 2).

Ceiling and walls as for other bathroom. Clean wash basin. Provide and fix new bath similar to damaged one. Attend to all taps and wastes, renewing if required.. Provide and fix new door and jambs complete. All walls and ceiling and wood-work as for other bathroom. (painting).

BACK BEDROOM (No. 16).

Strip walls and ceiling of scrim and paper. Fix new scrim of No. 2 quality, well tacked and taped. New door and jambs are required. Reglaze the sashes where required. Paint out as previously,

STAIRWAY TO TOWER.

Re-line where burnt, using either Gibraltar board or fibrous plaster. The cupboard under stair is to be renewed completely, with new door etc. Renew stairs using similar size and quality timbers including balustrades. Rebuild the lantern light to main landing, all to be as previous work. Renew the coved ceiling with all necessary ribs, dwangs etc. Line this ceiling with fibrous plaster. Renew the top landing to stairs, also all skirtings and architraves.

BALCONY ROOM.

Renew all linings to ceiling and walls, using  $\frac{3}{4}$  Gibraltar board or  $\frac{3}{4}$ " fibrous plaster. Provide new window and door. Size all walls and repaper at 3/- per roll. Renew the wash basin. Paint out the wood-work in three coat work, the last to be tinted to approval. The flooring is to be repaired as necessary, taking out all charred timber. This applies to the whole of the building. Burn off old parts where blistered in balcony flooring and paint in two coat work.

TOWER.

The whole of the supporting timbers are damaged, and it will be necessary to renew them all. This includes beams, rafters, struts, ties and studs. A similar quality timber is to be used. The sheathing not damaged may be reused if taken carefully off. Renew the damaged sheathing, and re-fix sheathing.

OUTSIDE.

Renew all the damaged iron work, rustic, soffitt boarding, brackets, mouldings, corner blocks, pilasters, spouting, and downpipes.

SOUTH WALL.

Renew the damaged sashes and frames, also all moulding, spouting and brackets, rustic, down pipes, corner blocks and pilasters.

NORTH WALL AND WEST WALL.

All, as for south wall.

ROOF.

The Contractor is to examine the roof carefully and allow for the removal of all charred or badly warped timber. Renew as necessary all sarking, rafters, struts, collar ties, whaling pieces, hips and valley boards in similar size and quality timbers.

All roofing iron, gutters, ridging and spouting, rain water heads, flashing to chimney, damaged by fire to be renewed in similar quality materials as existing.

Repaint chimneys where required and paint in two coat work.

ROOF PAINTING.

Corrugated iron remaining is to be painted one good coat of red oxide in oil, and new iron two coats.

OUTSIDE PAINTING.

Burn off all blistered paint work and prime. The whole of the building is to be painted in two coat work, the last coat tinted as required. All paint is to be composed of white lead and raw linseed oil, with a small amount of drier added. Stop all cracks and nail holes after 1st coat. All new work is to be primed with a mixture of half white lead and red lead.

Outside painting is to include all soffitts and flashings.

The verandah and balcony floors are to be painted as for house exterior.

ELECTRICAL.

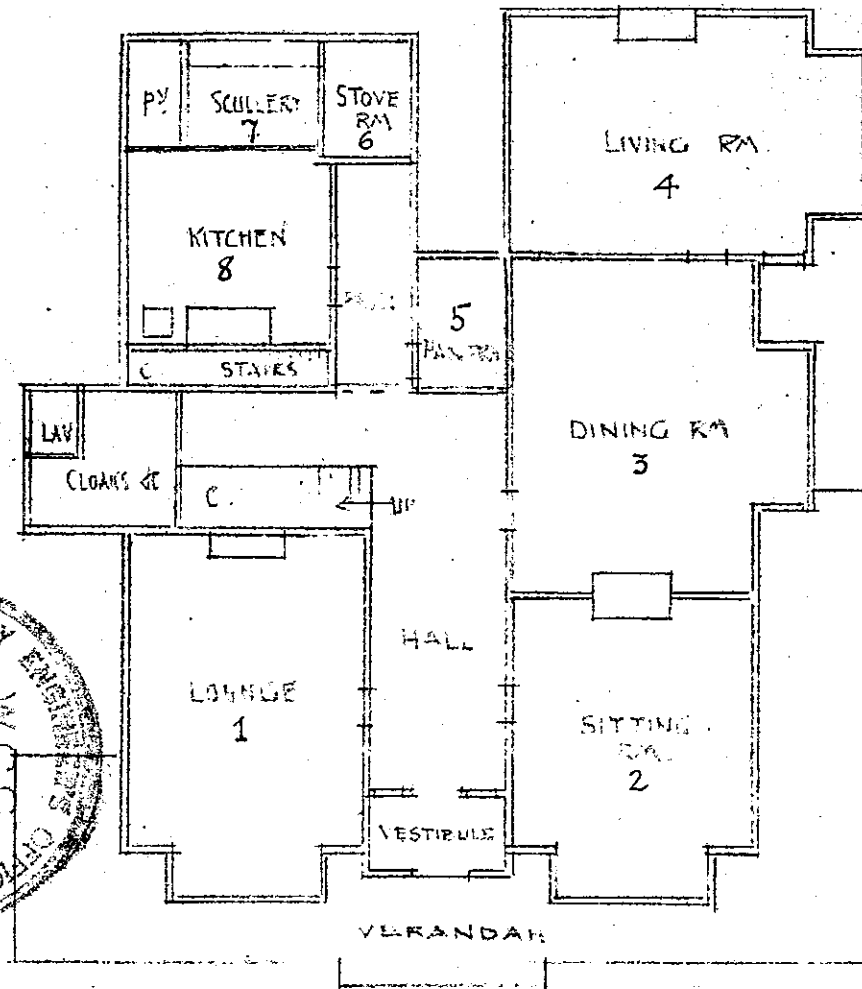
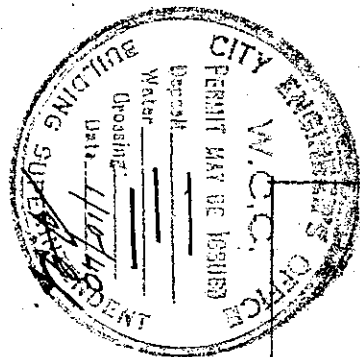
The whole of the electrical installation is to be repaired and renewed as required by the Wellington City Council Authorities. Allow the sum of £20 for fancy shades. Allow also to renew broken lamps of required candle power to all fittings as necessary.

WALL PAPERS.

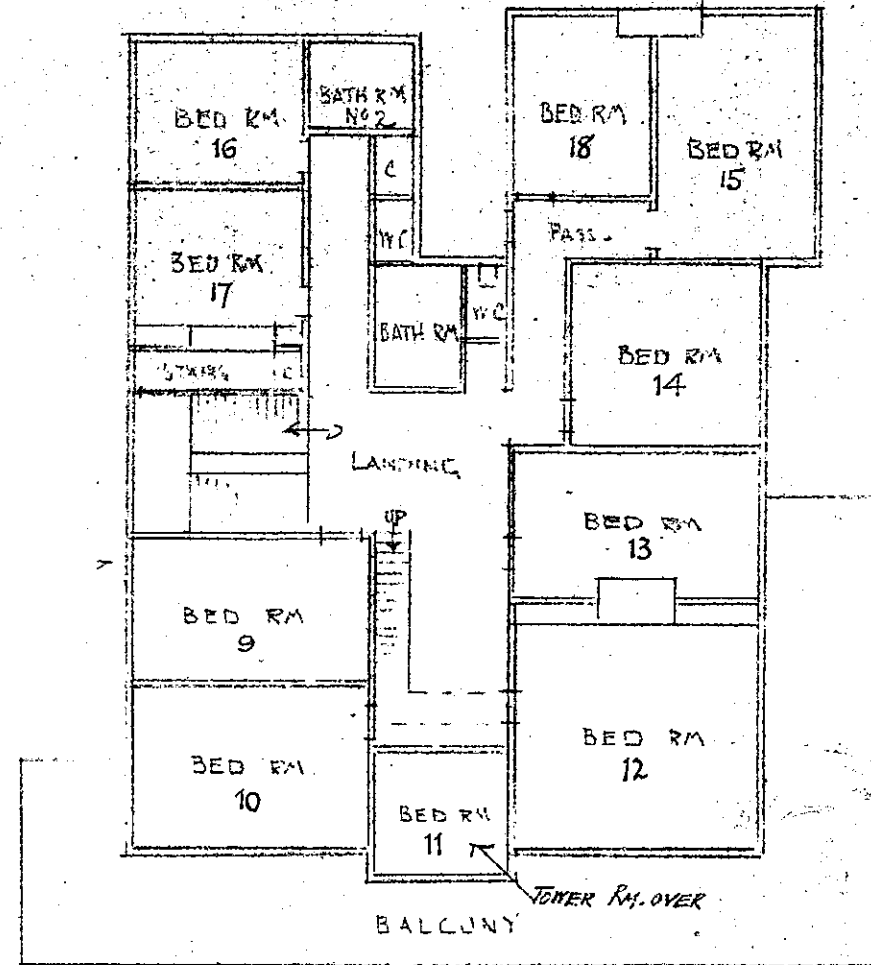
The wall and ceiling papers to be chosen by the Owners from any stocks held in Wellington.

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# ANTRIM HOUSE., BOULCOTT ST., WELLINGTON



GROUND FLOOR



FIRST FLOOR

NOTE: These plans are not guaranteed correct and are issued as a guide to the number & disposition of the rooms, etc.

SCALE 1/8" = 1'