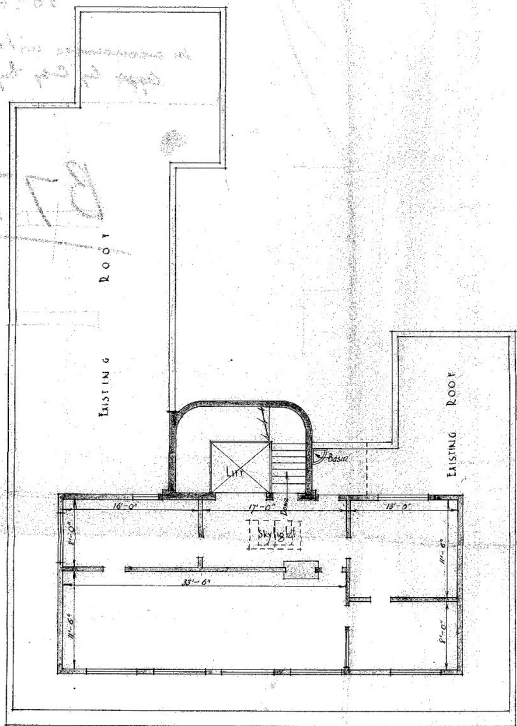
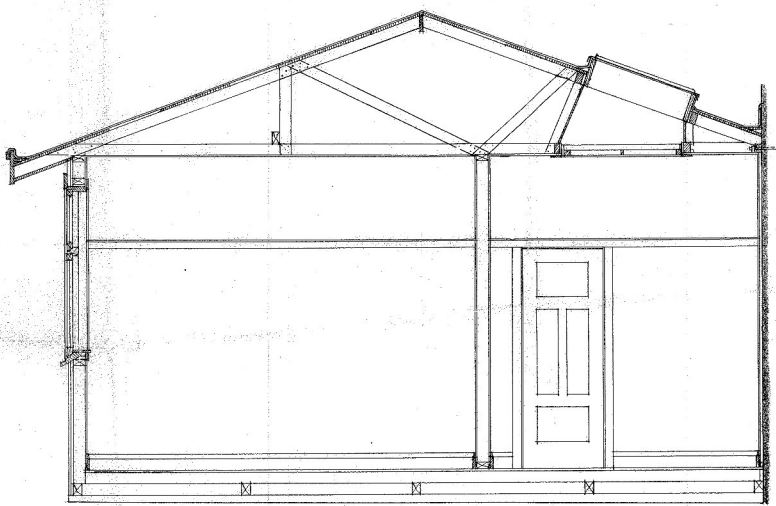


Handwritten notes:
 Proposed offices on roof of Messrs Chadman, Tripp, Cooke & Watson's Building
 20 Brandon Street Wellington
 1929

B7773



PLAN



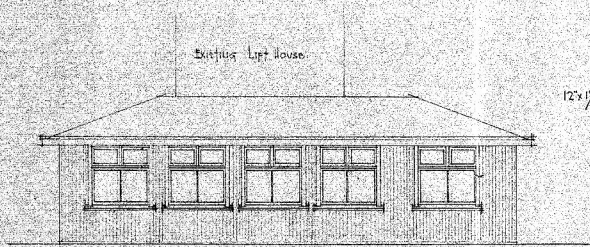
SECTION

Handwritten notes:
 plan
 letter drawn
 C. A. King
 Wellington
 1929

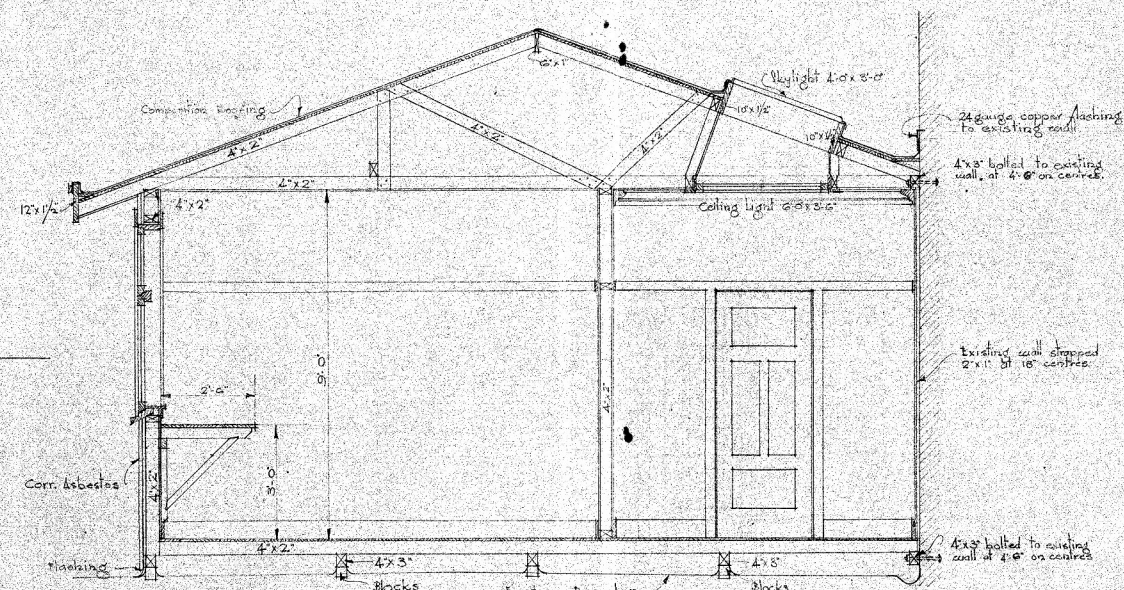
PROPOSED OFFICES ON ROOF OF MESSRS CHADMAN, TRIPP, COOKE & WATSON'S BUILDING 20 BRANDON STREET WELLINGTON

J. M. DAWSON & KING.
 F.N.Z.I.A. A.R.I.B.A.
 ARCHITECTS, WELLINGTON

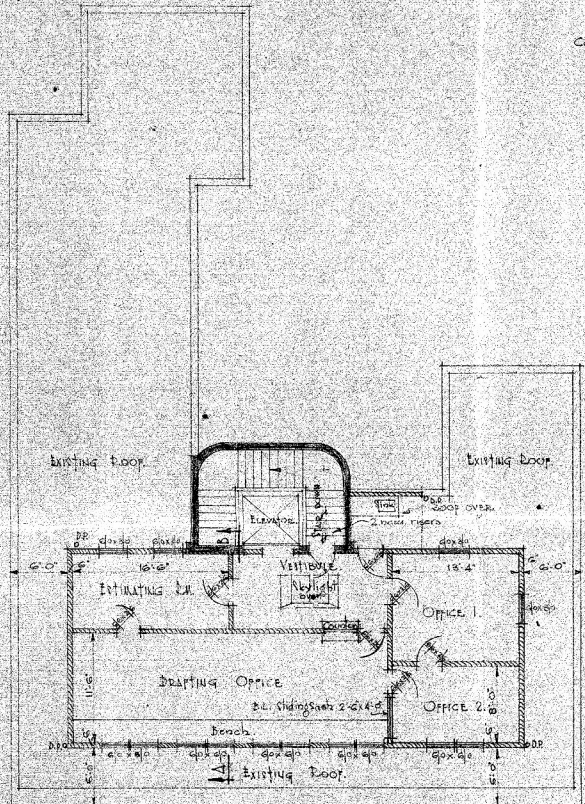
DRAWING No. 365/1.
 MADE BY
 SCALE: 8'-0" = 1" & 16'-0" = 1".
 DATE: JUNE 1929.



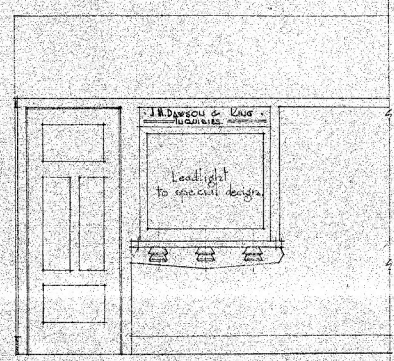
ELEVATION



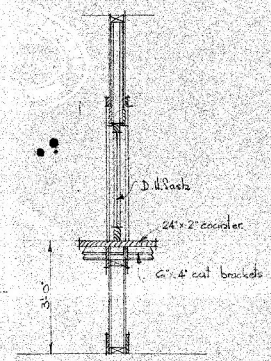
SECTION A-B. 1/2" SCALE



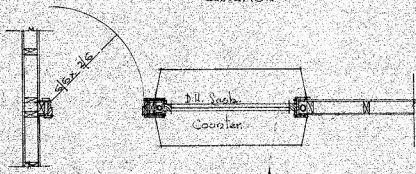
PLAN



ELEVATION



SECTION



PLAN

DETAIL OF CORNER ETC 1/2" SCALE

DRAWING No 3831
 SCALE: 1/8" = 1'-0"
 MADE: JUNE 1925
 BY: G. S. Smith

OFFICES AT NO 20 BRANDON ST FOR MESSRS CHADMAN TRIPP COOKE & WATSON.

J.M. Dawson & King
 ARCHT. & B.A.
 Wellington

B7142.

11 PAGES.

TENDERS CLOSE.

NOON, MONDAY JULY 1st. 1929.

DEPOSIT WITH TENDER.

NO DEPOSIT.

TIME FOR COMPLETION.

SIX WEEKS.

PENALTY.

£1 - 0 - 0 PER DAY.

MAINTENANCE.

NINETY DAYS.



SPECIFICATION of Works and Material
required for the erection of Offices
on the flat roof of the premises,
No. 20 Brandon Street for
Messrs. Brandon Street Chambers Ltd.

W E L L I N G T O N .
J U N E 1 9 2 9 .

J . M . D A W S O N & K I N G .
A r c h i t e c t s .

PRELIMINARY.

The General Conditions of Contract hereto attached together with the sheet of drawings marked 365/1 and this specification shall form the basis of this Contract.

The Employer has arranged for the Contractor to have access over the cartway in from Featherston Street for the purpose of taking in his materials. The right of access however shall be confined to one week from the commencement of the contract time, and again for not more than two days at a later period when the new premises are covered in for the purpose of taking in joinery, plaster board etc. which cannot be exposed to the weather. The cartway must not be used for the storage of materials but these must be hoisted to the flat roof immediately after delivery, and the Contractor shall not unnecessarily inconvenience others having rights over the cartway.

Drilling into the existing concrete roof shall only be done between the hours of 8 a.m. and 9.30 a.m. or at other times outside office hours to save annoyance to the tenants of the top floor.

The lift must not be used for carrying up any unwieldy material or articles, but the Contractor may make arrangements with the lift attendant for carrying reasonable loads outside ordinary office hours.

CARPENTER.

All work shall be fitted and secured in a proper and approved manner. All timber shall be of the best of its class and well seasoned. All framing timber if not otherwise specified shall be Oregon pine.

FOUNDATION BLOCKS ETC. Blocks of heart totara 3" wide by 12" long and of varying depths to suit the fall of the flat roof shall be fixed at not more than 5 ft. centres under the lines of sleepers. The blocks on the highest part of the roof shall be 2" and the others shall be of the necessary depth to make them line up level. Each block shall be secured to two heart totara plugs dowelled into the concrete roof. At the existing wall a 4"x 3" heart totara bearer shall be secured with 1/2" bolts at 4 ft. centres to carry the ends of the joists.

Between the blocks round the external walls the space shall be filled in with 1 1/2" totara to form a backing for the asphalt flashing.

ASPHALTING. The Contractor shall employ the Neuchatel Asphalt Co. to form a turned up coving all round the external walls. This shall be of ample thickness and well lapped to the existing asphalt and it shall be carried up 3" behind the bottom of the Corrugated wall sheeting. The interior blocks shall also be asphalted round in a similar manner. All this work shall be done in a manner to ensure the existing roof remaining thoroughly watertight.

SLEEPERS AND BOTTOM PLATES. The bottom plates of the external walls shall be 4"x 3" heart totara carried all round and well nailed to the blocks. The floor joists shall be carried on three lines of 4"x 3" heart totara ^{sleepers} as shown.

WALL FRAMING ETC. The studs at openings shall be 4"x 3" and all other studs shall be 4"x 2" spaced at not more than 18" centres. Two studs shall be fixed at angles and where partitions intersect with external walls to form solid angles for the internal wall lining. All openings shall be properly trimmed.

The top plates shall be 4"x 2" and a line of 2" dswanging shall be fixed in all walls at the height of the door heads.

A 4"x 3" bearer shall be fixed against the existing wall to carry the ends of rafters and ceiling joists and this shall be ~~used~~ secured with 1/2" bolts embedded in the concrete at 4 ft. centres.

The existing doors, runners etc. shall be removed from the lift openings and these openings shall be reduced to the sizes shown with 4"x 2" framing.

The existing wall inside the new building shall be strapped with 2"x 1" heart totara at 18" centres to line up with the inside of the studs.

The short wall at the outside Porch shall be built up with 4"x 2" framing on the existing parapet to support the continuation of the new roof.

The two studs adjoining the existing wall shall be secured with 1/2" bolts embedded in the concrete at 3 ft. centres.

ROOF FRAMING. All rafters and ceiling joists shall be 4"x 2" spaced at 18" centres. The ridge shall be 6"x 1" and the hips shall be 8"x 1". The rafters shall overhang at the eaves as shown

and they shall be supported with 4"x 2" struts from the partitions at every second rafter.

The ceiling joists shall be well secured to the plates and checked into the bearer at the existing wall and over the long spans they shall be supported with 4"x 1" hangers at every second joist and a continuous 4"x 2" bearer as shown.

The skylight^{shaft} shall be properly trimmed and 3"x 2" studs shall be fixed between the roof and ceiling as shown. A 10"x 1½" coping shall be fixed round the opening and project 6" above the roof.

The ceiling joists shall be dwanged as required to take the joints of the plaster board lining.

FLOOR JOISTS. The floor joists shall be 4"x 2" spaced at 18" centres and well secured to the sleepers and plates. The span of joists supporting the main bearing partition shall be further strengthened with an additional short joist between each pair of main joists.

SHEATHING. The outside walls shall be covered with 1" boarding well closed up and double nailed. This shall be commenced at the bottom with a 4" board and between this and the next board above, a ¾" space shall be left to give ventilation under the floor.

SARKING. The whole of the roof shall be covered with 6"x 1" boarding well closed up and double nailed. This shall be neatly mitred at the hips and ridge. All bywood shall be roughly dressed

off and the hips and ridge shall be rounded and the whole shall be left with an even surface for the composition roofing. Gutters shall be formed behind the fascia board and against the existing wall and they shall be given the required fall towards outlets. Diagonal cut 2"x2" fillets shall be fitted in the angles of the gutters and round the skylight.

OUTSIDE FINISHING. All timber shall be dressed heart totara except the matched lining which shall be 6"x 3/4" T. G. and V jointed heart red pine.

Fix a 12"x 1 1/2" fascia board all round at eaves and when the roofing has been turned over this shall be secured with a 2"x 3/4" fillet as shown.

Fix a 1" barge board at the end of the porch roof and fix corner stops, composed of a 6"x 1" and 5"x 1" with beaded joint, at the four corners.

Line with matched lining the soffit of all eaves and the ceiling and stud walls of the porch. The lining of the eaves shall not be scribed into the corrugations of the asbestos sheeting as the openings are required for ventilation under the roof. Fix a fascia down the end of the porch wall.

FLOORING. The whole of the floors shall be laid with 6"x 1" T. & G. heart matai boarding well cramped up and double nailed. The boards shall be in long lengths and the flooring shall be made continuous under partitions. The nails shall be punched and the floors shall be cleanly dressed off.

Cover the whole of the floors with Nairn's "A" quality cork linoleum neatly fitted and secured.

LINING. Line the whole of the inside walls and ceilings with 3/8" "Gyproc" or similar approved plaster board. This shall be neatly fitted into all angles and securely fixed and the joints shall be pointed and flushed up to give an even surface for papering.

INSIDE FINISHING. All timber shall be cleanly dressed selected heart red pine. All rooms shall have 6"x 1" plain bevelled skirting with 1" quarter round moulding fitted in the floor angles.

All window and door openings shall have plain chamfered 3"x 1" architraves and all rooms shall have a wall railing of similar section. The wall railing shall be continuous over the door heads and shall form the top architrave of these as shown. The windows shall have 1" sill boards with apron pieces under.

The ceilings of the Vestibule and No. 1 Office shall be fitted with a 5" moulded cornice. The ceiling opening of the skylight shall be fitted with 1" jambs and 3"x 1" chamfered margin pieces. The jambs shall be fitted with 1/2" stops to take the sash.

Fix a bench along the full length of the Draughting Office. This shall have a 1" glue jointed top of clean O.S. red pine and the supporting brackets shall be made as shown and secured to the studs at 3 ft. centres with coach screws.

GENERAL. Fix an approved trap door in the ceiling where directed.

Line the new walls at the lift opening on the lift side with matched lining.

Properly finish the sills of the doors at the lift and stairs as directed.

JOINER.

All timber shall be thoroughly seasoned and the best of its class, and all joinery shall be built in a proper and approved manner and cleanly dressed and it shall be made to detail drawings to be provided. All joinery exposed to the weather shall be of clean heart totara or Californian Redwood and all inside joinery shall be selected heart red pine.

WINDOWS. The frames of windows in outside walls shall have sills double sunk and weathered out of 8"x 2½", transoms and fanlight mullions solid rebated out of 4"x 3" and the styles and heads shall be solid rebated out of 2" stuff of the required width. The facings shall be 6"x 1".

The sashes for these windows shall be 2" hung on top with 3" cast butt hinges, the 6 ft. sashes shall have three hinges and the others two hinges. The wide lower sashes shall be divided with a 1½" dividing bar as shown and all lower sashes shall be glazed with 21 oz. "Thirds" quality British glass. The fanlight sashes shall be glazed with white Flemish glass.

The inquiry slide in Vestibule wall shall have a 1½" sash glazed with leaded light to the value of 50/- and it shall be fitted with suitable weights and cord and hung in a proper frame and a counter with brackets and apron pieces shall be fitted as shown.

The slide between No. 2 Office and the draughting room shall have a 4'- 0"x 2'- 6"x 1½" sash glazed with 21 oz. glass and fitted in a proper frame with weights etc. The sill board shall be 1" with apron pieces.

The ceiling sash in the skylight opening shall be 6'- 0" x 3'- 6"x 2" divided into 12 lights with 1" bars and glazed with white Flemish glass and it shall be hung on one side with three 3"

cast butts. This sash shall be fixed with the putty side up.

DOORS. All doors shall be 6'-6"x 2'-6"x 2" and four panelled as shown. The top panel of the lift and stair doors shall be of 3/8" bevelled polished plate glass, the bevelling to be done to a fine feather edge. The bottom rails shall be 10" and the other rails and styles shall be 6", and the muntins 4". The panel sides of the styles, rails, and muntins shall be slightly bevelled.

The lift door shall be hung by Messrs. Waygood-Otis with track and fittings which they will supply and which will be paid for out of the lump sum here-in-after mentioned. All other doors shall be fitted in 2" solid rebated frames and hung with two 4" cast butt hinges. The frame of the outside door shall have a 3" sill and 6"x 1" facings.

Allow the sum of £15 - 0 - 0 for sash and door furniture as selected.

GENERAL. Fix a 1 1/4" kauri sink top on approved frame and brackets in the porch where shown.

COMPOSITION ROOFING.

The whole of the roof including the roof over the porch shall be covered with three layers of 1st. quality 3 ply "Certainteed" or other approved similar roofing. The first and each succeeding layer shall be stuck down with hot bitumen. The joints in succeeding layers shall be "broken" and the roofing shall be finished true and even. The gutters shall be laid with an extra ^{thickness} ~~layer~~ of 3 ply. The roofing shall be taken through the gutters and turned over the top of the fascia board where it shall be secured with the wood fillet. It shall also be turned up round the skylight and neatly finished round the outlets.

This roofing shall be laid by expert workmen employed by the agent for the material used, and the said agent shall undertake to make good any defects in material or workmanship which may appear within three years from completion.

CORRUGATED SHEETING.

The whole of the outside of the external walls shall be covered with heavy saturated felt and Bell's "Everite" or other approved corrugated asbestos cement sheeting.

This sheeting shall be fixed with screws by workmen employed by the Agents and a first class and watertight job shall be guaranteed. All sheets shall be in one length without horizontal joints and it shall be neatly fitted round openings and in corners.

PLUMBER.

All material and workmanship shall be of the best and strictly in accordance with the City Bylaws.

DOWN PIPES. The four down pipes shall be $2\frac{1}{2}$ " and of 24 gauge copper and they shall discharge on to the flat roof. Copper lined sumps shall be formed in the gutters and these shall be connected to the down pipes.

SKYLIGHT. Fix a 4 ft.x 3 ft. two light skylight on the roof where shown. This shall be made of 24 gauge copper and glazed with $\frac{3}{16}$ " rolled plate glass and it shall be made to the "Wade" or "Empire" ventilated pattern and guaranteed thoroughly watertight.

FLASHING. All flashing shall be of 24 gauge copper. Flash along the intersection of the roof with the existing wall and over all window frames and wherever necessary to make the building thoroughly watertight. Fix approved copper trays under all window sills.

SINK. Properly fix a 22" enamelled earthenware sink in the porch where shown. This shall be fitted with a properly ~~fixed~~ trapped and ventilated waste discharging into the gully trap in area. Lead a $\frac{1}{2}$ " branch from the nearest waterpipe and fix an N.P. tap over the sink. The tap shall be kept high enough to get a bucket under.

PAINTER AND PAPERHANGER.

PAINTING. All painting shall be done in three coats. The first shall be red lead and oil and the others shall be white lead and oil with colours added to give the required tints. Paint the fascia board and matched lined soffit of eaves, the woodwork of windows outside, and the matched lining and door of porch.

Copper work shall not be painted.

VARNISHING. All varnishing shall be done with one coat of oil, one coat of spirits, and one coat of flat varnish.

Varnish all doors, architraves, skirting, wall railing, woodwork of windows, and all other inside woodwork.

PAPERHANGING. Line all walls and ceilings with good quality lining paper and then hang papers as selected to the average value of 6/- per piece.

LIGHTING, HEATING ETC.

One Hundred and Five
Allow the sum of ~~xxxxx~~ Pounds Stg. (£105- 0 - 0) for Lighting and Heating systems and lift door hanging, and lift adjustments which work shall be carried out by experts appointed by the Architects.

On completion all rubbish shall be cleared away and the whole of the premises shall be left clean and sanitary.