

[A272]

[00078: 169: 38154]

BIN

38154

ADDRESS

101 CUBA ST

**WORK
COMPLETED**

WELLINGTON CITY COUNCIL
ENVIRONMENT
- 9 DEC 1997
RECEIVED
WAKEFIELD ST. WELLINGTON

ISSUE DATE

Butchery OK L. Hill 17.3.98

Link to SR 34478

AMENDED PLANS

38154

101 - CUBA ST.

15 December, 1997

Melling Morse Architects
77 Durham St
Aro Valley
Wellington

Service Request No: 38154
Link No: 0600 714776

Dear Sir/Madam

AMENDED PLANS FOR BUILDING CONSENT NO 34478 101 Cuba St

Service Request Type: Amended Plan - Building Consent
Site Address: 101 Cuba St Lot 1 DP 15298


This is to inform you that your amended plans have been approved subject to the same conditions as Building Consent no 34478, together with the following requirements ---

1) Particular attention is to be paid to the last clause of the above Building Consent, ie ,the two fire reports relative to this development ,and the requirement to implement the higher standard should there be any conflict between these reports.

2) That the requirements of NZBC clause G6 'Airborne and Impact Sound' be complied with in full.

Yours sincerely



 Rob Baumgren
Environmental Control Business Unit
Wellington City Council
Telephone 801 3826

18 December, 1997

Melling Morse Architects
77 Durham St
Aro Valley
Wellington

Service Request No. 38154
Link No. 0600 714776

Dear Sir/Madam

REQUEST FOR ADDITIONAL FEES PURSUANT TO SECTION 33(2) OF THE BUILDING ACT 1991

This is to inform you that the following fee is outstanding for this building consent.

Service Request Type: Amended Plan - Building Consent
Site Address: 101 Cuba St Lot 1 DP 15298
Project Description: Proposed Residential Units into existing premises.

Amount Outstanding: \$115.00
Purpose of Additional Fee: Amended Plan Processing Fee

Amount currently paid: \$0.00

Please note that the consent will not be issued until all outstanding fees have been paid.

I am available to explain this in more detail if you require and can be contacted on the phone number below.

Yours sincerely



Darryl Lindsey
Environmental Control Business Unit
Wellington City Council
Telephone 3267

22 June, 1998

Melling Morse Architects
77 Durham St
Aro Valley
Wellington

Service Request No. 38154
Link No. 0600 714776

Dear Sir/Madam

**REQUEST FOR ADDITIONAL FEES PURSUANT TO SECTION 33(2) OF THE
BUILDING ACT 1991**

This is to inform you that the following fee is outstanding for this building consent.

Service Request Type: Amended Plan - Building Consent
Site Address: 101 Cuba St Lot 1 DP 15298
Project Description: Proposed Residential Units into existing premises.

Amount Outstanding: \$115.00
Purpose of Additional Fee: Amended Plan Processing Fee

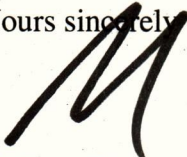
Amount currently paid: \$0.00

Please note that the consent is ready to be issued once all outstanding fees have been paid.

These fees have been outstanding for over two months and failure to pay these fees in ten (10) working days will result in the application being cancelled.

I am available to explain this in more detail if you require and can be contacted on the phone number below.

Yours sincerely



Melissa Brown
Environmental Control Business Unit
Wellington City Council
Telephone 801 3875



ACCOUNT IS OVERDUE!
PLEASE SEND CHEQUE
URGENTLY

Applicant

Melling Morse Architects
77 Durham St Aro Valley Wellington

Tax Invoice GST Number 53-204-635

Date: 9-Dec-97
Reference: TW 38154
Amended Plan - Building Consent

Owners

1. Dr Who Limited
P O Box 11660 Wellington

Property Addresses

1. 101 Cuba St, Te Aro

Fees Payable

Description	Fee	GST	Total
Amended Plan Fee	\$102.22	\$12.78	\$115.00
Total	\$102.22	\$12.78	\$115.00

Balance Outstanding: \$115.00

Payment Advice

Please return this section with your payment

WELLINGTON CITY COUNCIL
PO BOX 2199 WELLINGTON

Melling Morse Architects
77 Durham St Aro Valley Wellington

9-Dec-97

Reference:	TW 38154 Amended Plan - Building Consent
Amount Owing:	\$115.00
AMOUNT PAID:	PLEASE COMPLETE

Applicant

Melling Morse Architects
77 Durham St Aro Valley Wellington

Tax Invoice GST Number 53-204-635

Date: 17-Dec-97

Reference: TW 38154

Amended Plan - Building Consent

Owners

- 1. Dr Who Limited
P O Box 11660 Wellington

Property Addresses

- 1. 101 Cuba St, Te Aro

Fees Payable

Description	Fee	GST	Total
Amended Plan Fee	\$102.22	\$12.78	\$115.00
Total	\$102.22	\$12.78	\$115.00

Balance Outstanding: \$115.00

Payment Advice

Please return this section with your payment

WELLINGTON CITY COUNCIL
PO BOX 2199 WELLINGTON

Melling Morse Architects
77 Durham St Aro Valley Wellington

17-Dec-97

Reference:	TW 38154 Amended Plan - Building Consent
Amount Owing:	\$115.00
AMOUNT PAID:	PLEASE COMPLETE

DUPLICATE RECEIPT

***** W.C.C. Official Receipt *****

Cashier 11

Receipt No. 3832524 09-Dec-1997 14:38

TW \$ 115.00

Service Request Code: 34478

Service Request Type: Bldg Cons >500K

Owner Name: Dr Who Limited

Property Address: 101 Cuba St, Te Aro

Contact Name: Melling Morse

Architects

=====
Total \$ 115.00

Cheque \$ 115.00

-- U622412 U020560T 0006646-00 U

-- DR WHO LIMITED

=====
Change \$ 0.00

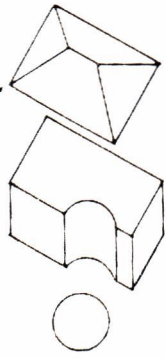
Cashier 11

Receipt No. 3832524 09-Dec-1997 14:38

REG GST NUMBER 53-204-635

Subject to recourse to all documentation

Receipt can be used as a TAX INVOICE



melling : morse architects 77 Durham Street Wellington Ph/Fax (04) 384-3174

SR 38154

8025980

Refer:
Laurie Webb.

9.12.87

ECBU
W.C.C

WWMC BUILDING CUBA ST APARTMENTS

Enclosed are 2 sets of ammended prints
for the above job.

the ammendments fall into 2 catagories being .

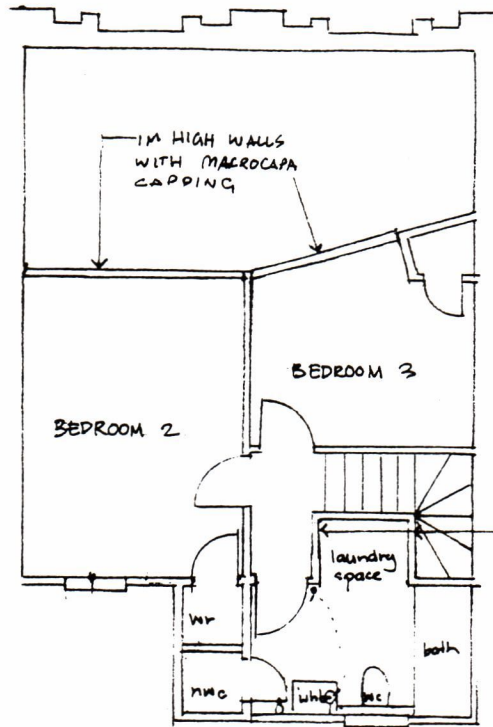
- 1) Retention of existing doors, stairs and lobbies
to the shared area of the building as shown
on plans 01, 02, 03 and section 27
- 2) Alteration of most appartments from 4 bedroom
to 3 bedroom and addition of 2 single bed units
on upper floors shown on plans 4B, 08/12B & 16B
and elevation 19, 20, and 21.

A4 blowups of these plans and elevations are
also enclosed.

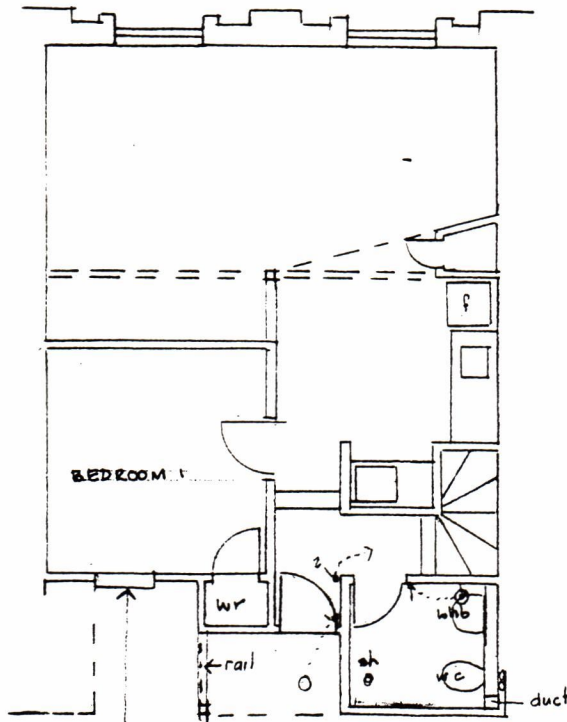
yours faithfully

Allan Morse





UPPER FLOOR



AT UNIT 4; POSITION WINDOW IN CENTRE OF GAP

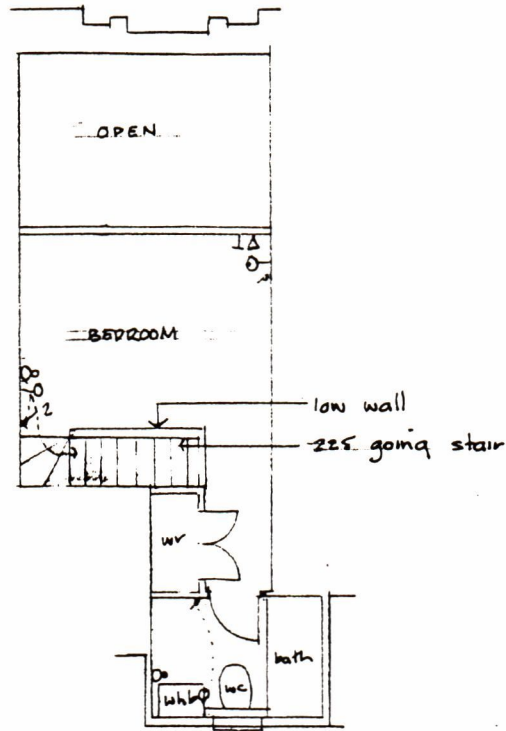
LOWER FLOOR

UNITS 1, 2, 3, 4 & 6
ALSO UNITS 13 & 14

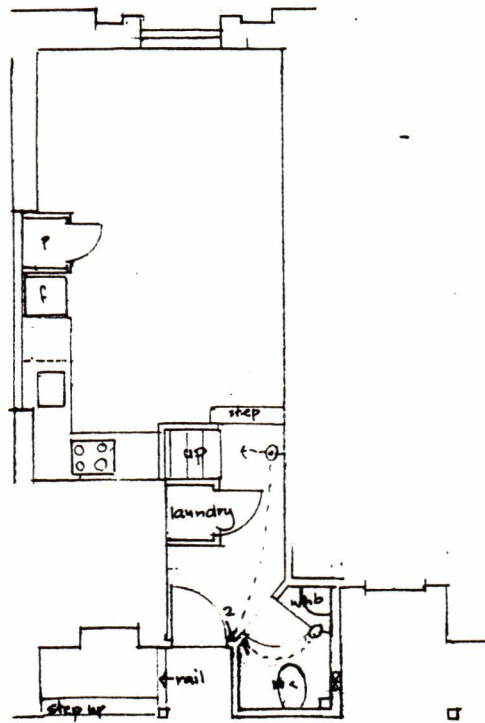
1:100

3.10.97

8225 Via



== UPPER



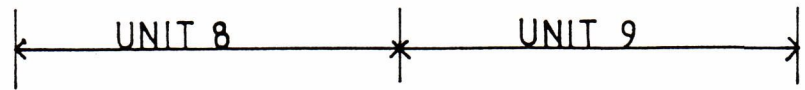
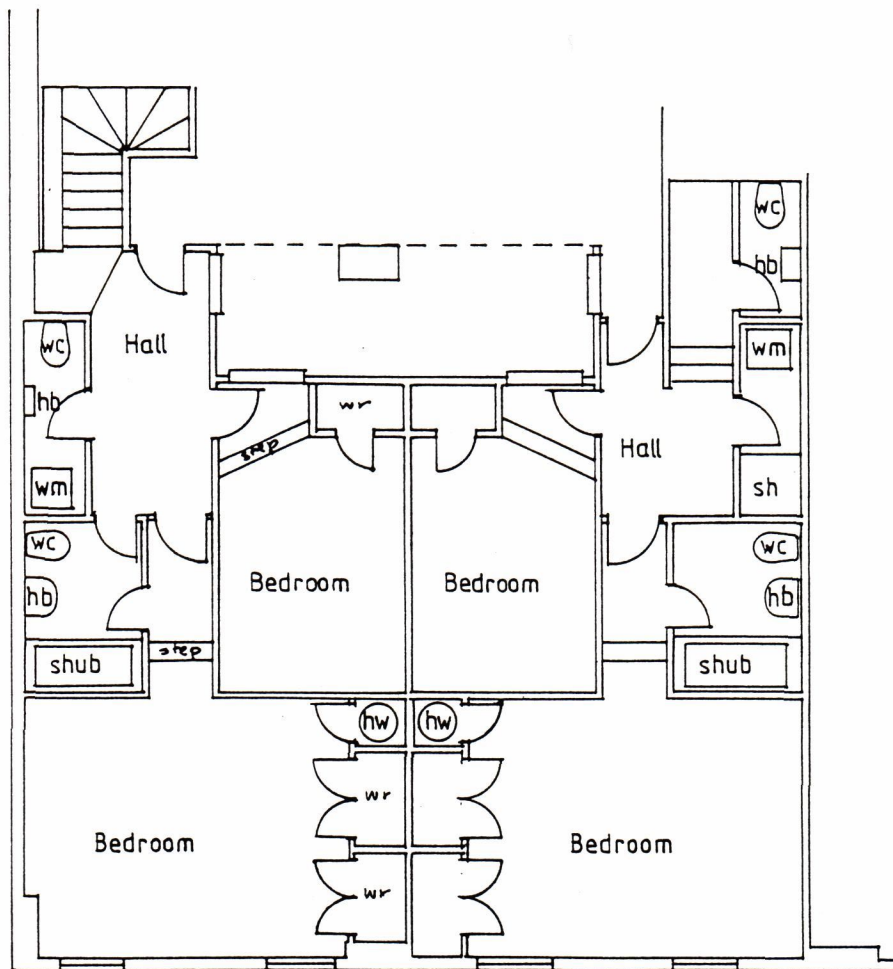
== LOWER

== UNIT 20

1:100

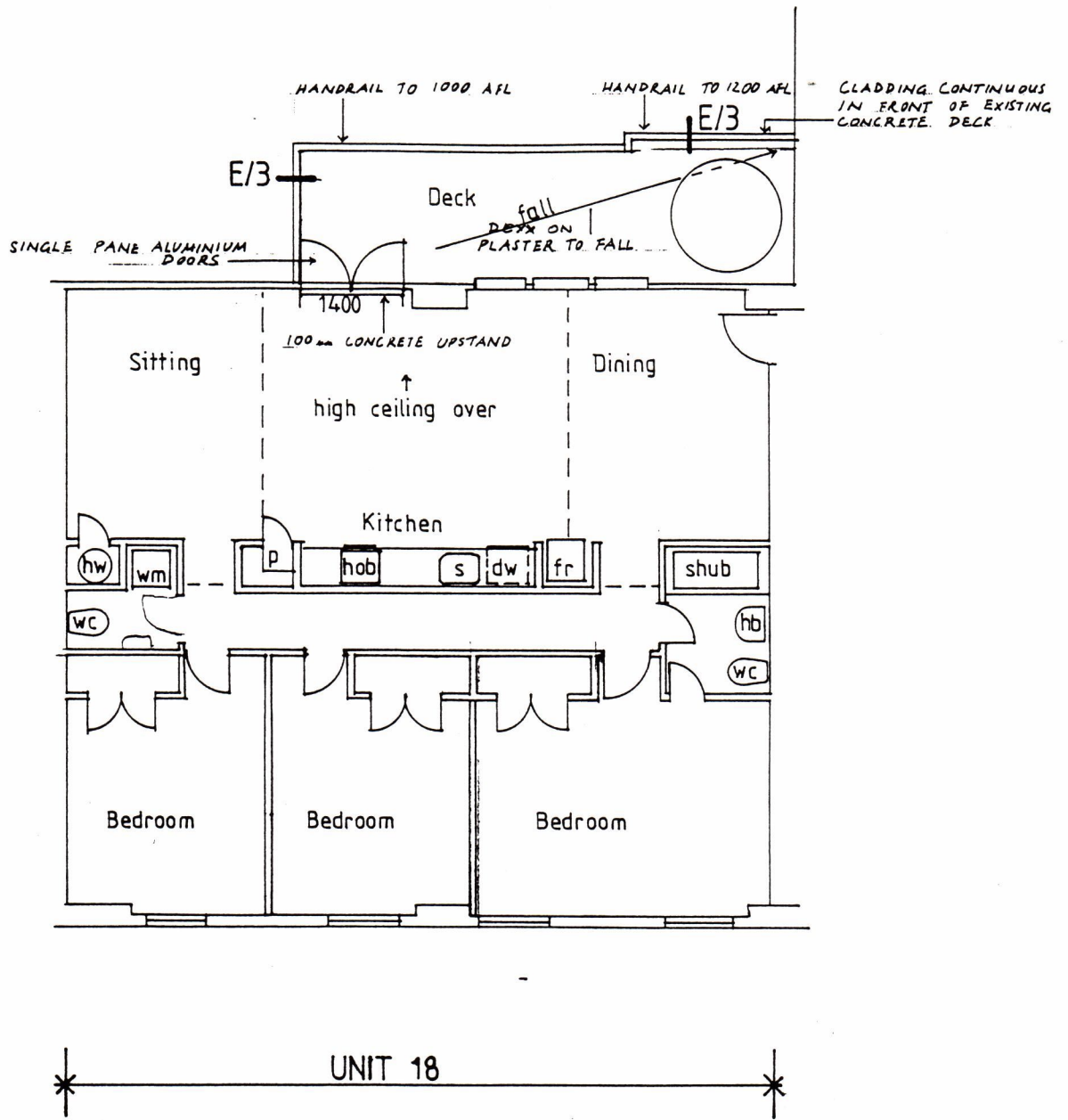
3.10.97

8225 V2



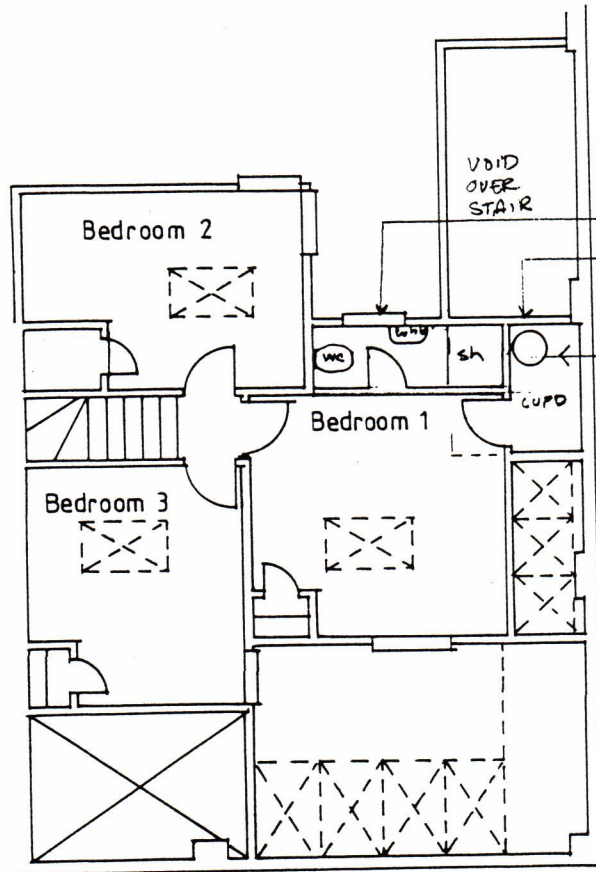
UNIT 8 & 9 SECOND FLOOR
 10 E 11

11.100
 13.10.97
 8225 V4



UNIT 18 FOURTH FLOOR

1:100
 13.10.97
 8225 - V5



WINDOW REDUCED TO 800x600 & OBSCURE GLASS

12.5 FIBRELINE BOTH SIDES OF WALL

FLOOR EXTENDED WITH PARTICLE BD ON 100mm JOISTS AT 400CS AND LINED UNDERNEATH WITH 12.5 FIBRELINE

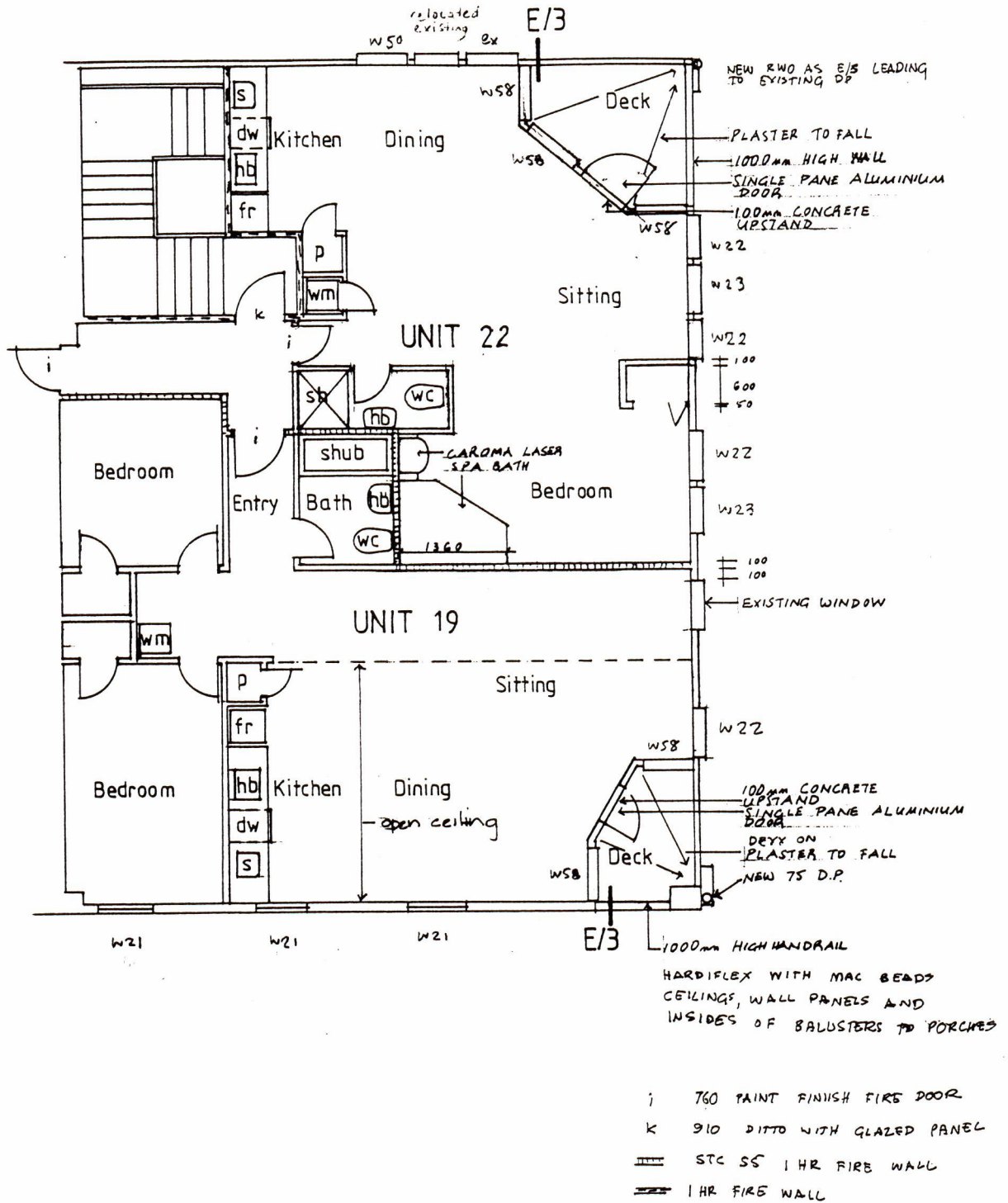
----- UNIT 15 -----

UNIT 15 SECOND FLOOR

EXTENSION TO BEP 1 1100

13.10.97

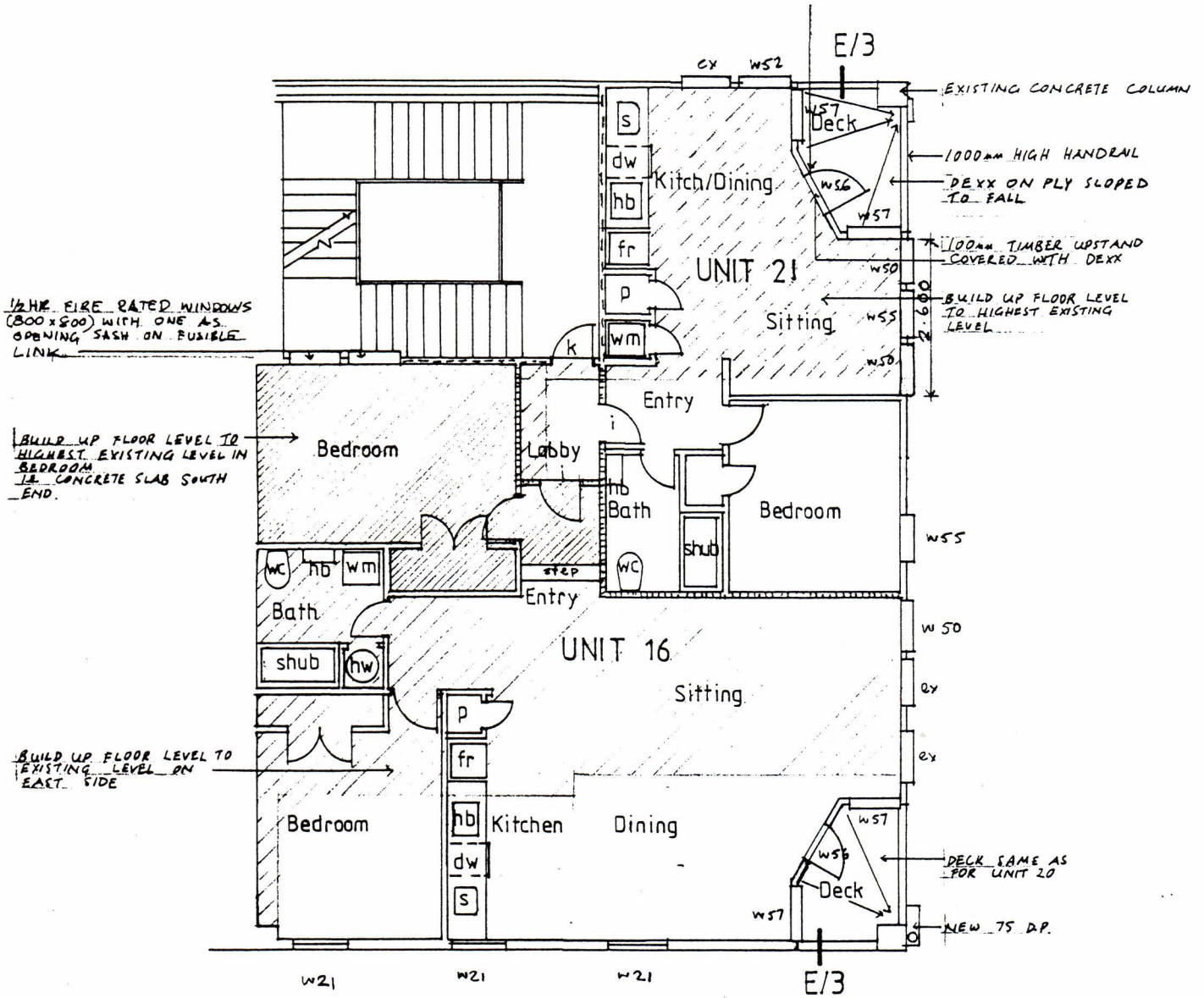
8225-V6A



UNIT 19 & 22 FOURTH FLOOR 1:100

13.10.97
8225-V7a

SINGLE PANE ALUMINUM DOOR



UNIT 16 & 21 THIRD FLOOR

1:100

13.10.97

8225-V8



PART WEST ELEVATION

NORTH END

1:100

13.10.97

8225 - V9

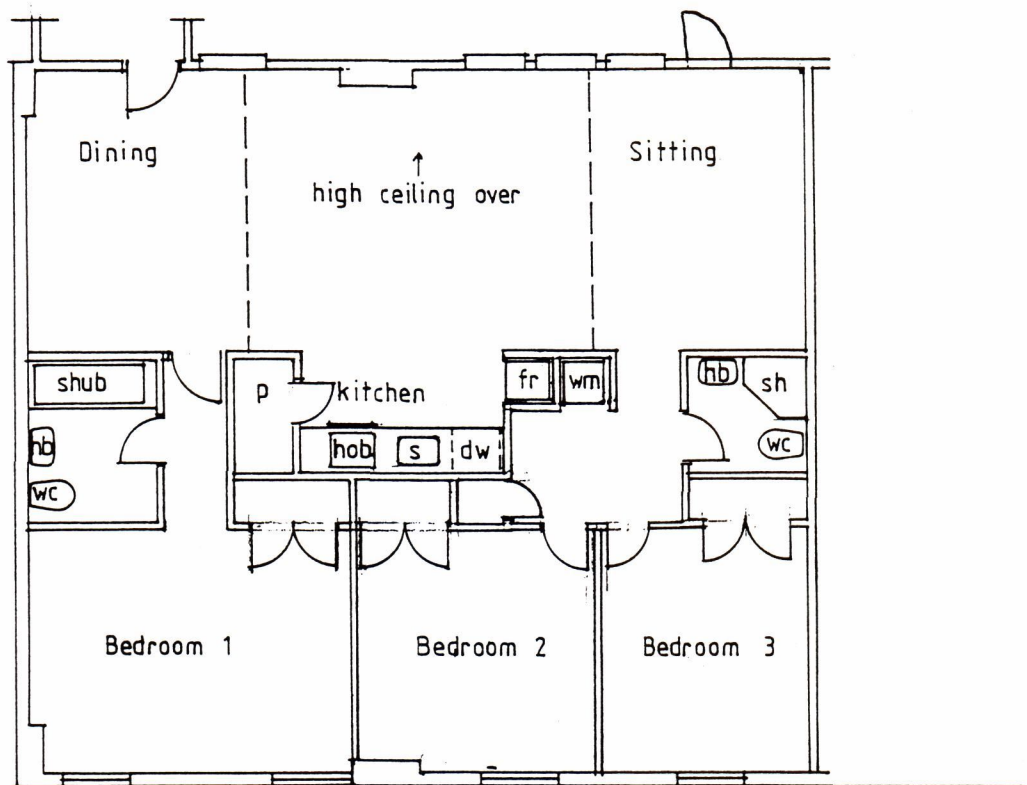


NORTH ELEVATION

1:100

13.10.97

8225 V10



UNIT 17

V14 21.10.97

be required to give; the address, the **Service Request number**, a contact name and phone number and the type of inspection required.

- 6) Code Compliance Certificates will not be issued for works where there are outstanding inspections, where it is no longer possible to inspect work undertaken, or where there are outstanding monies to be paid relating to the consent.

ITEM: STRUCTURAL

Design Engineer to supervise.

Other approvals required:

NOTE 1 : All structural work must comply strictly with Design Engineer's calculations and sketches .

Dragoslav Bojich

Permissions Team

Phone: 801-3821

ITEM: BUILDING

Section 41 of the Building Act 1991, requires that this consent will lapse and be of no effect if the building work proposed is not commenced within 6 calendar months from the date of issue.

The Contractor shall ensure that the official stamped copy of the plans and specifications as approved for consent purposes by the Wellington City Council are available on the site at all times during the period of the contract and that no deviation from the approved documents will be permitted until revised drawings and/or specifications have been submitted to and approved by the Environment Control Business Unit.

A Public Liability Insurance policy for not less than \$1,000,000.00 for any one accident in the name of Wellington City Council and extended to the Mayor, Councillors and Citizens of Wellington as per the special endorsement arranged with the Underwriters Association is to be taken out by and at the expense of the owner or contractor and lodged with the Council before any work is undertaken.

The Contractor shall maintain a signboard on site for the duration of the works. This signboard shall give the Contractor's name, business name and 'After Hours' telephone numbers and shall be kept in a clear, legible condition and sited such that it can be easily read at all times by Council, Police and other Service and Emergency Authorities.

All building and demolition operations must be carried out in such a way as to minimise the effect of noise on adjacent properties and the Contractor will be required to comply with any direction from a Council Noise Control Officer forthwith.

Ensure all loose materials that are capable of being carried by the wind are either secured or removed from the site. All activities must be carried out in a manner that keeps to a minimum the dust nuisance to adjacent properties.

The Environmental Control Business Unit is to be given 48 hours notice before commencing work and 24 hours notice before carrying out any of the following inspections.

- i. Placing any concrete, placing foundations or timber flooring.
- ii. Wastes in/under slab floor.
- iii. Fitting any external and/or internal linings.
- iv. Testing and plotting any drainage work before backfilling /concealing.
- v. On completion.

To arrange for any of the above mentioned inspections please contact the Service Request counter on 801-3542 between the hours of 8.15am and 4.45pm.

On completion of the work the District Building Officer Compliance Team is to be notified [tel 8013542] as required in the Building Act 1991 - clause 43.1 and the specified form 9 to be completed and returned to Environment Control Business Unit, W.C.C., PO Box 2199, Wellington.

The Producer Statement / fire report prepared by Mr D Walker dated 11-8-97 is to be read and the details /requirements contained therein implemented in full .NOTE there is a fire report prepared by Mr D Barber dated 10-2-97 ,forming part of the approved documents to Building Consent No 30243.Should there be any differences in the requirements of these two reports then the higher standard shall be taken in every situation.

Laurie Webb

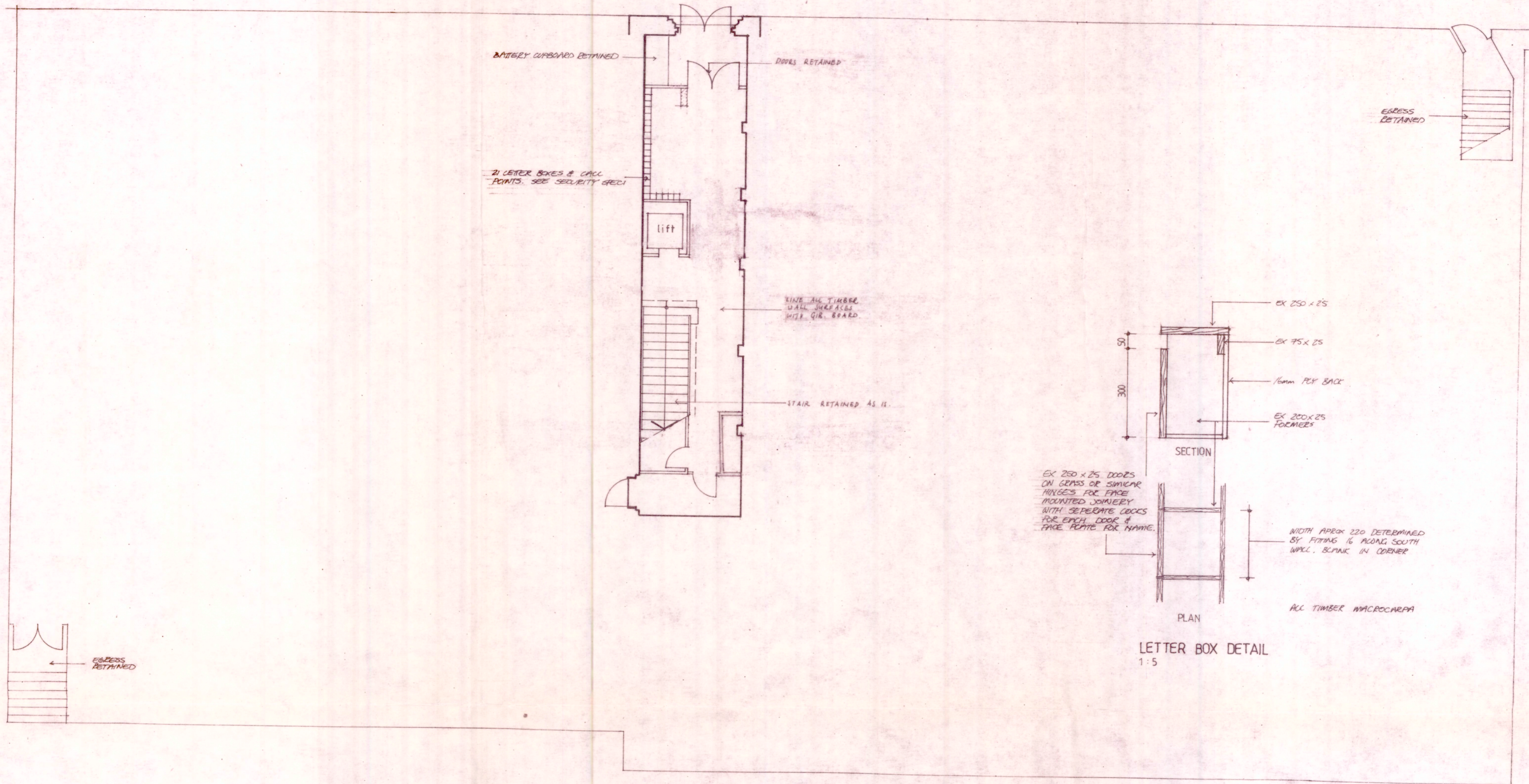
Permissions Team

ITEM: PLUMBING

20 Apartment units to upper levels of the Wellington Working Mens Club Building.

In addition to the plumbing and drainage design details presented in the submitted consent application plans and specifications, the following conditions and/or requirements shall be recognised and complied with on the project site.

Approved type water sealed interception shall be provided to isolate the private stormwater drains from the public stormwater sewer/culvert system. PLUMBER TO REFER TO PLUMBING ADENDA SHEET DATED 22 AUGUST 1997.



melling:morse architects 77 Durham Street Wellington. Phone/Facsimile 384-3174

Project
**WWMC BUILDING
 CUBA ST WELLINGTON**

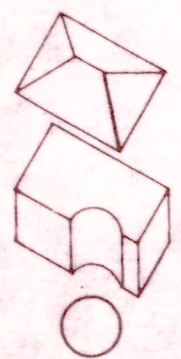
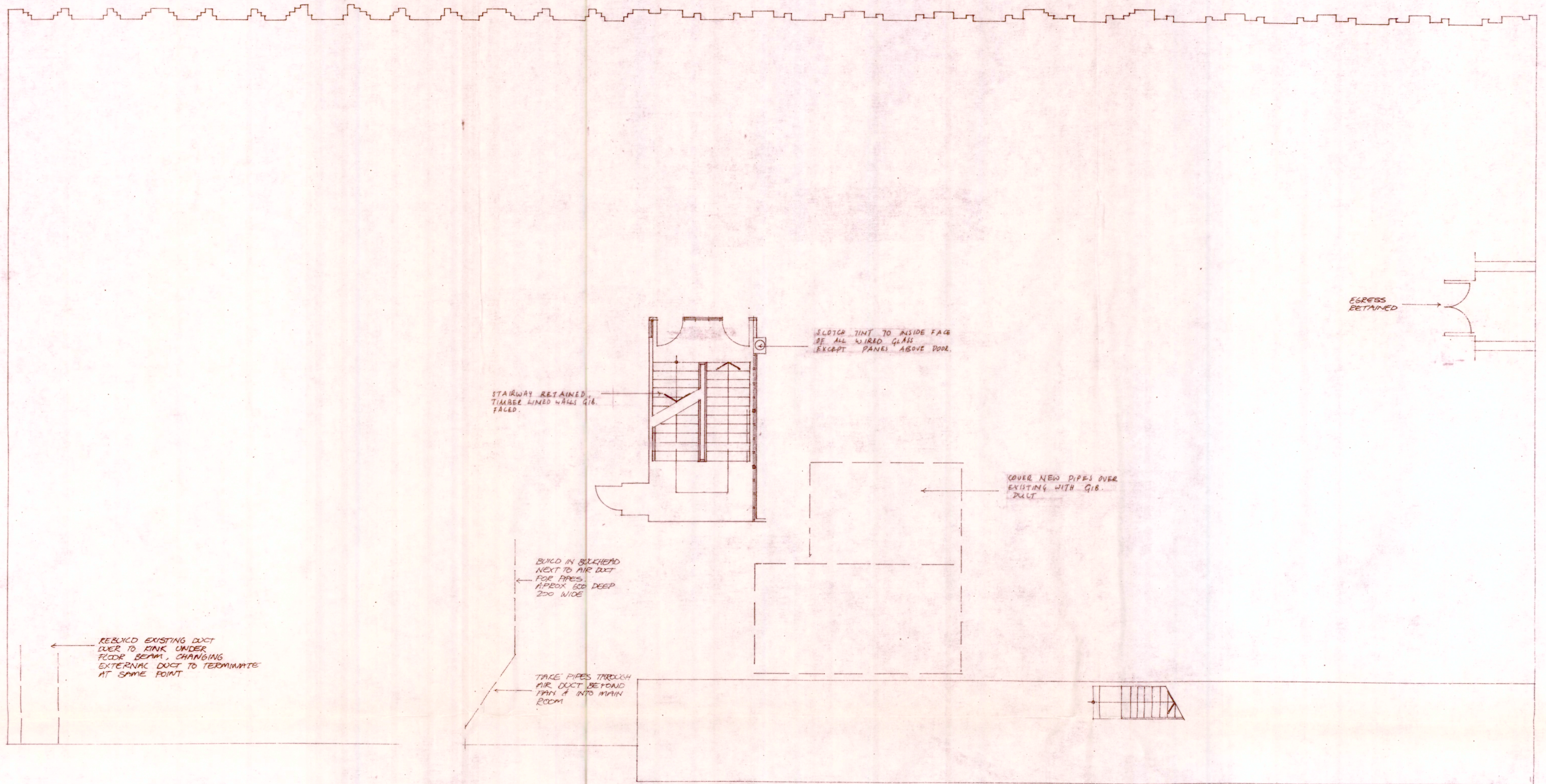
date 8.97 revisions
 scale 1:100 1:50 1:5
 drawn
 checked

Title
 EXISTING GROUND
 FLOOR PLAN

WELLINGTON CITY COUNCIL
 ENVIRONMENT
 - 9 DEC 1997
 RECEIVED
 WAKEFIELD ST., WELLINGTON

[82] [25] 01A

CUBA ST



melling : morse architects 77 Durham Street Wellington. Phone/Facsimile 384-3174

Project
 WWC BUILDING
 CUBA ST WELLINGTON

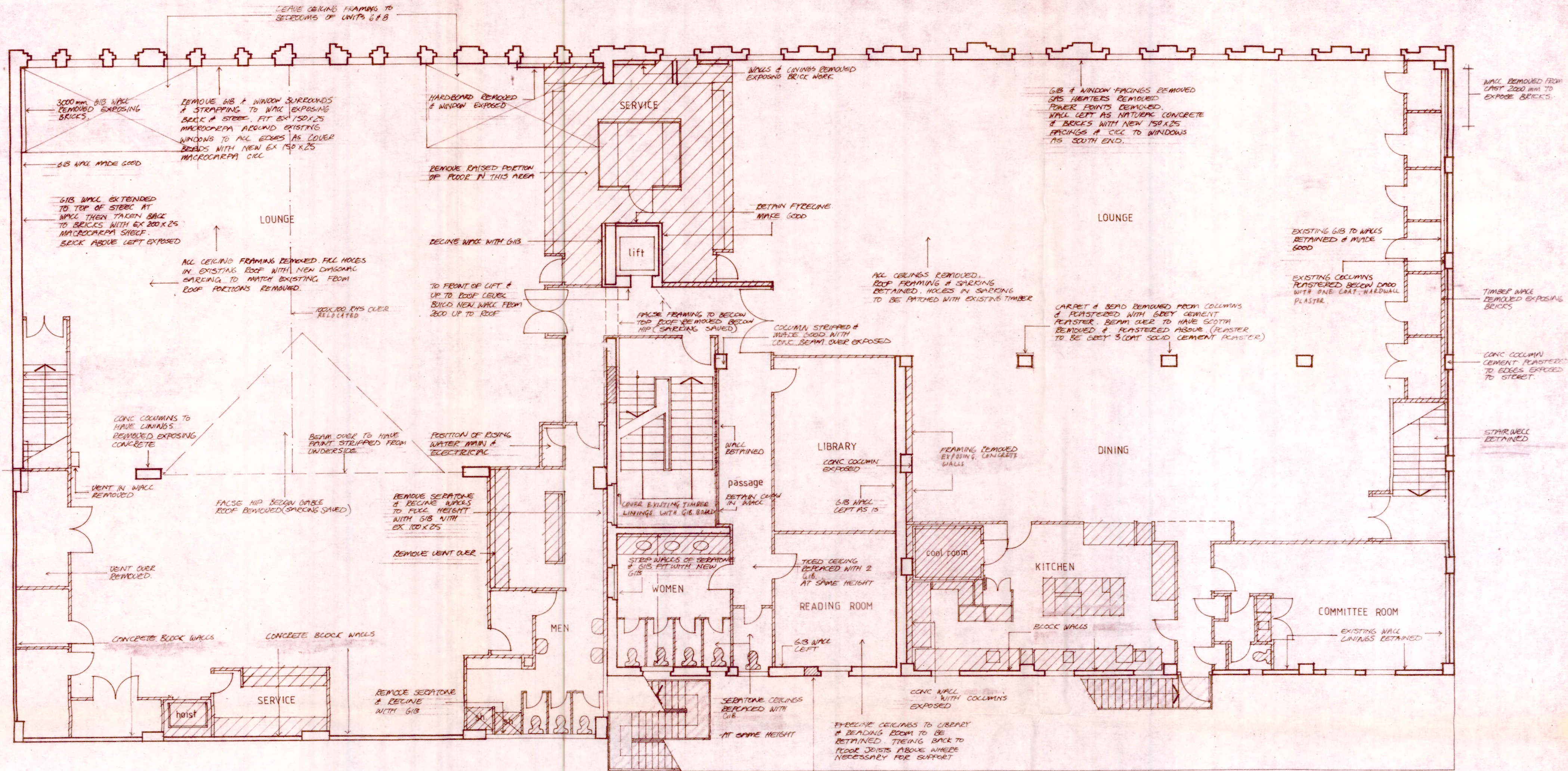
date 8/97
 scale 1:100
 drawn
 checked

Title
 EXISTING FIRST
 FLOOR PLAN

WELLINGTON CITY COUNCIL
 ENVIRONMENT
 - 9 DEC 1997
 RECEIVED
 WAKEFIELD ST., WELLINGTON

[82] [25] 02A

CUBA ST



EXISTING WINDOW OPENING WIDENED & TAKEN FROM FLOOR TO CEILING FOR NEW DOORS & WINDOWS

ALL CARPET & LINING REMOVED EXCEPT TO UNIT 13 SEE PROPOSED DRAWING. ALL CEILING FRAMING NEUTRALIZED FOR FINISH WORK. ALL SERVICES TO BE NEUTRALIZED FOR FINISH WORK. SECURITY SYSTEM (RUN BY NMC) CAN BE LEFT IN OPERATION, IF DESIRED BY CONTRACTOR TO BE REMOVED AT A LATER PERIOD OF CONTRACT. RETAIN ALL LIGHTING & SERVICES TO STAIRWAYS.

WELLINGTON CITY COUNCIL ENVIRONMENT
- 9 DEC 1997
RECEIVED
WAKEFIELD ST., WELLINGTON



melling : morse architects 77 Durham Street Wellington. Phone/Facsimile 384-3174

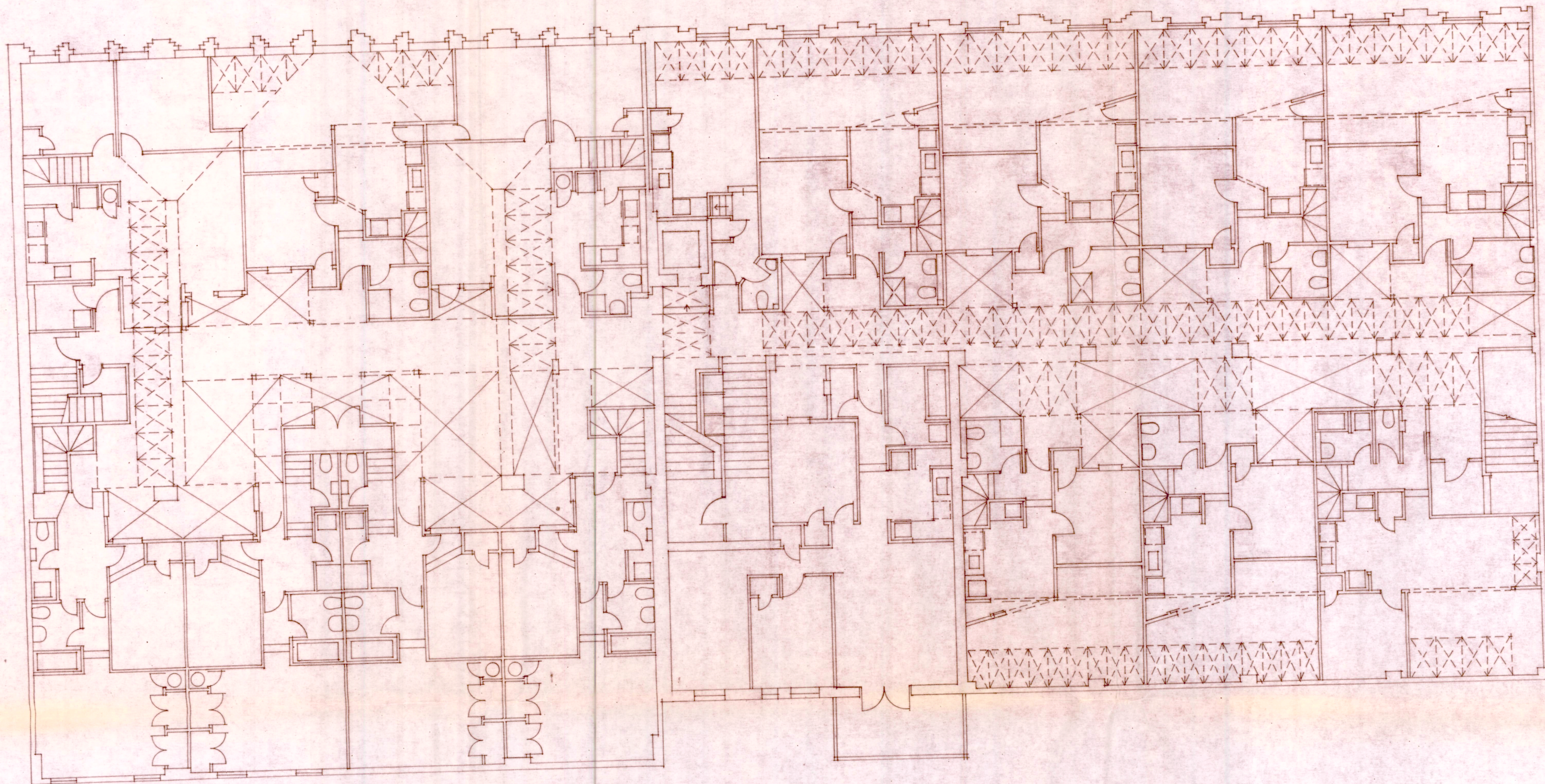
Project
WWMC BUILDING
CUBA ST WELLINGTON

date 8.97
scale 1:100
drawn
checked

Title
EXISTING SECOND FLOOR PLAN

[82] [25] [03 A]

UNIT 7 * UNIT 6 * UNIT 5 * UNIT 20 * UNIT 4 * UNIT 3 * UNIT 2 * UNIT 1



UNIT 8 * UNIT 9 * UNIT 10 * UNIT 11 * UNIT 12 * UNIT 13 * UNIT 14 * UNIT 15

WELLINGTON CITY COUNCIL
ENVIRONMENT
- 9 DEC 1997
RECEIVED
WAKEFIELD ST., WELLINGTON



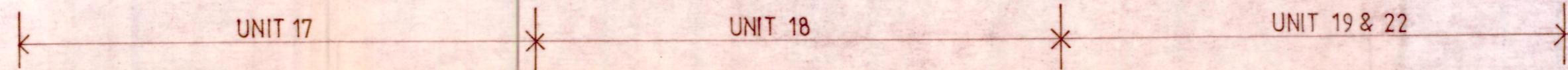
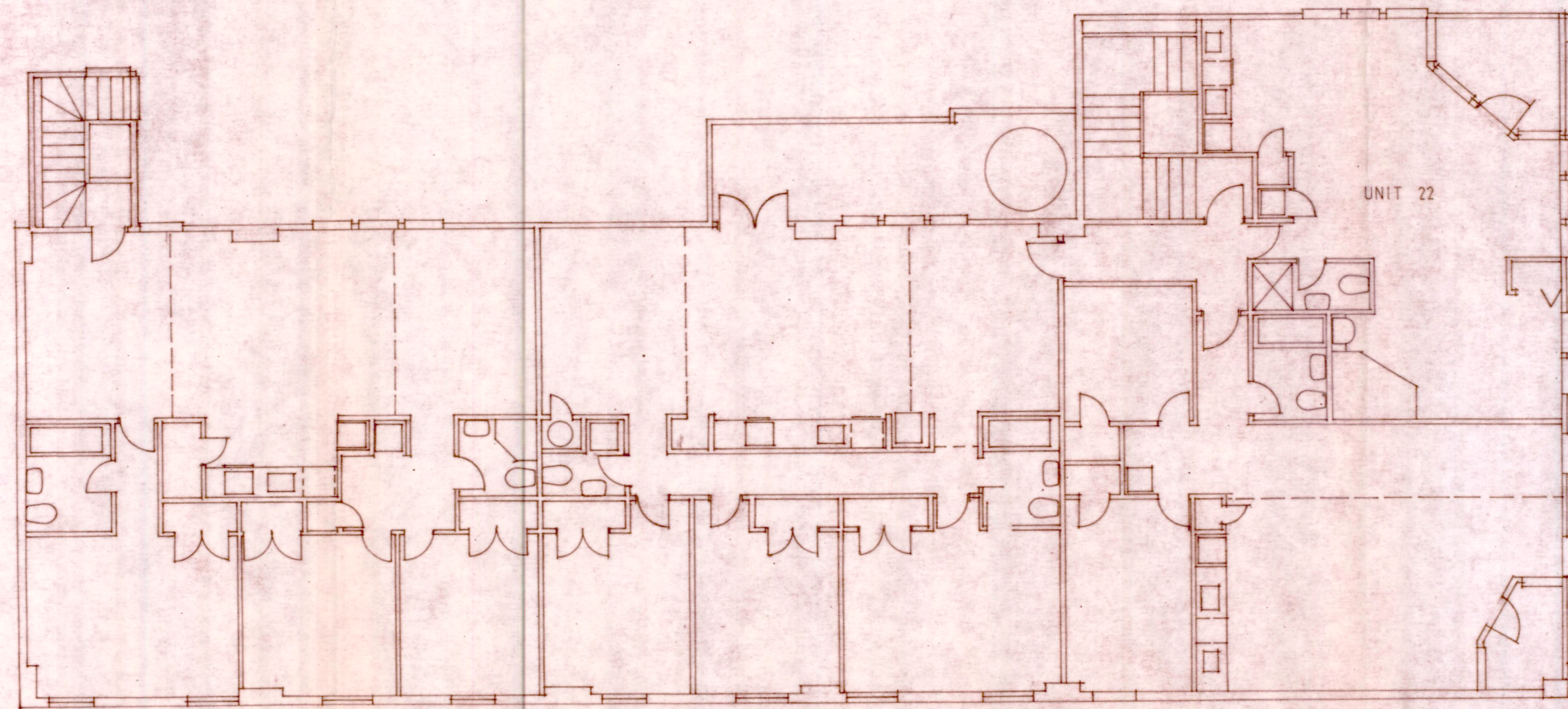
melling : morse architects 77 Durham Street Wellington. Phone/Facsimile 384-3174

Project
WMC BUILDING
CUBA ST WELLINGTON

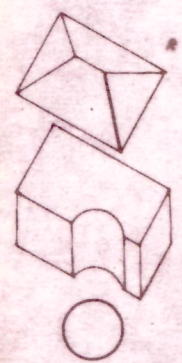
date 11.97
scale 1:100
drawn [initials]
checked

Title
PROPOSED SECOND
FLOOR PLAN

82	25	04B
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WELLINGTON CITY COUNCIL
 ENVIRONMENT
 - 9 DEC 1997
 RECEIVED
 WAKEFIELD ST., WELLINGTON



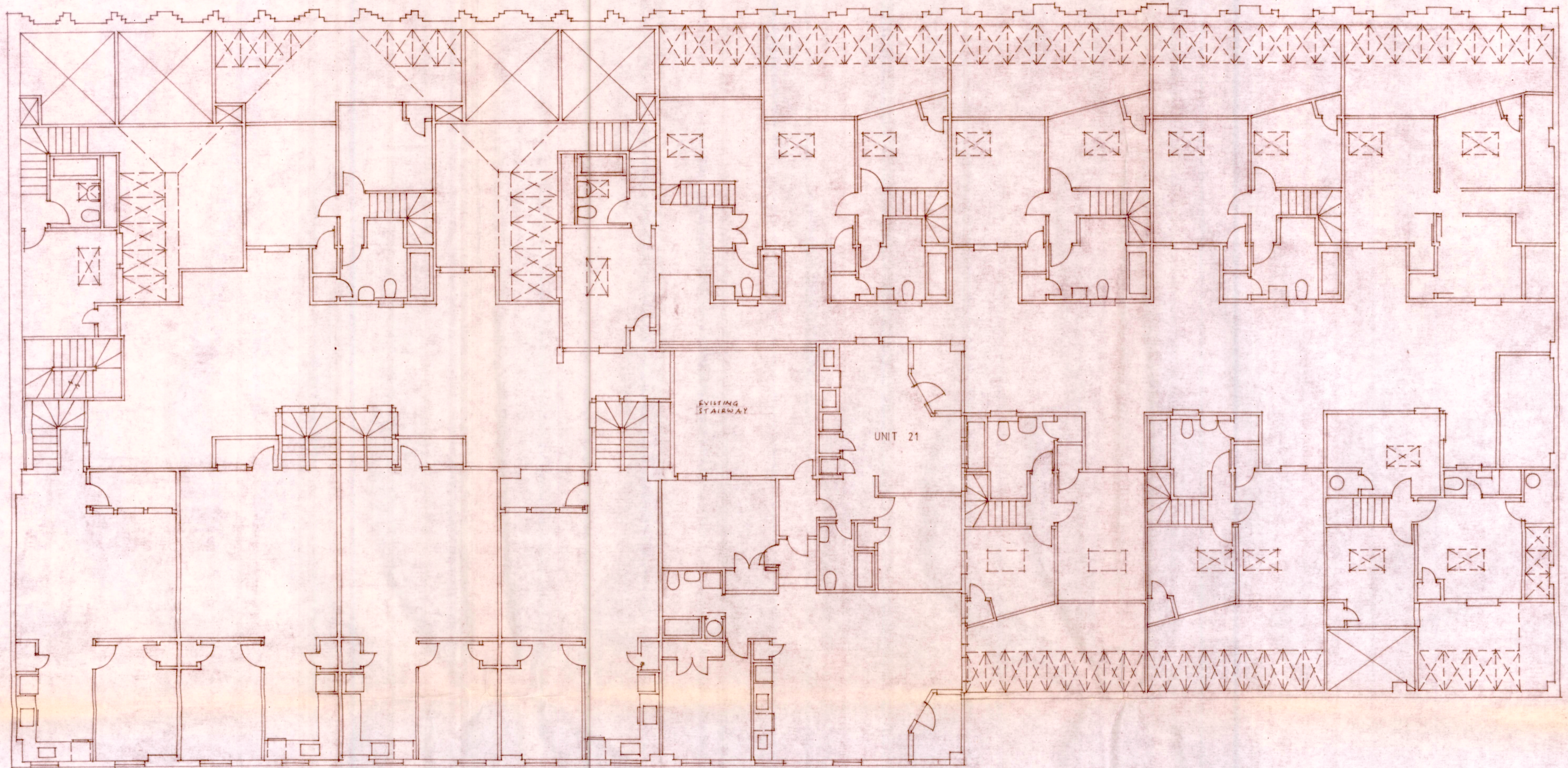
melling : morse architects 77 Durham Street Wellington. Phone/Facsimile 384-3174

Project
 WWMC BUILDING
 CUBA ST WELLINGTON

date 12.97
 scale 1:100
 drawn P.S.
 checked

Title
 PROPOSED FOURTH
 FLOOR PLAN [82] 25 16B

UNIT 7 UNIT 6 UNIT 5 UNIT 20 UNIT 4 UNIT 3 UNIT 2 UNIT 1



UNIT 8 UNIT 9 UNIT 10 UNIT 11 UNIT 16 & 21 UNIT 13 UNIT 14 UNIT 15

WELLINGTON CITY COUNCIL
ENVIRONMENT
- 9 DEC 1997
RECEIVED
WAKEFIELD ST., WELLINGTON



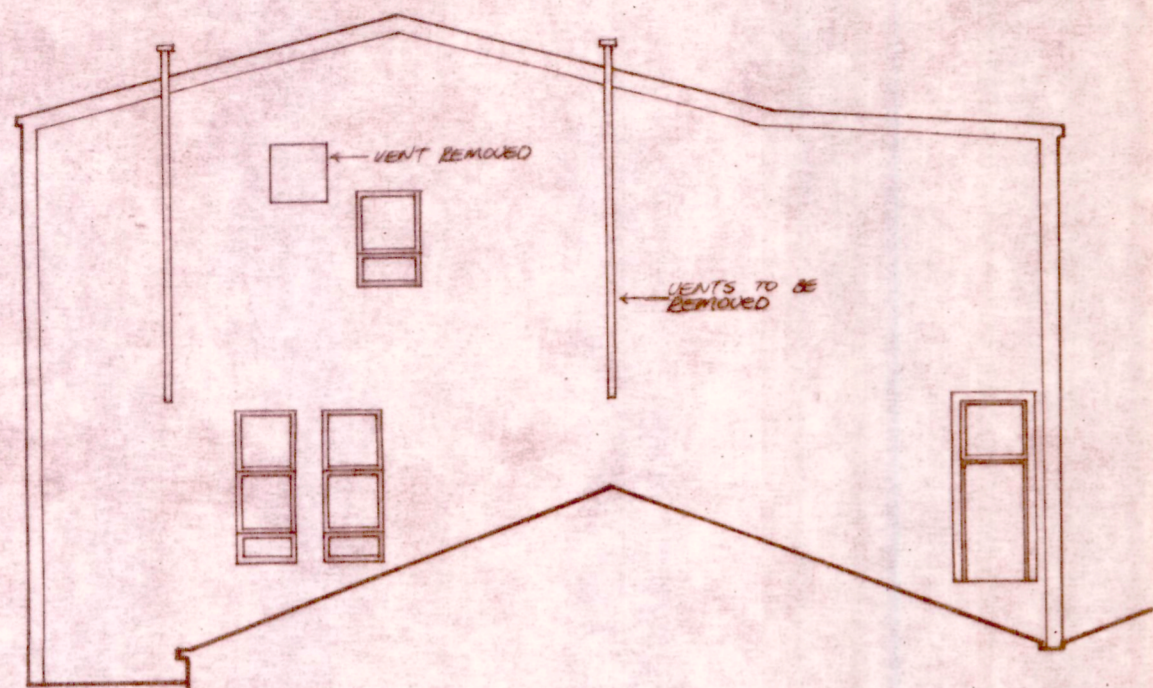
melling : morse architects 77 Durham Street Wellington. Phone/Facsimile 384-3174

Project
WWMC BUILDING
CUBA ST WELLINGTON

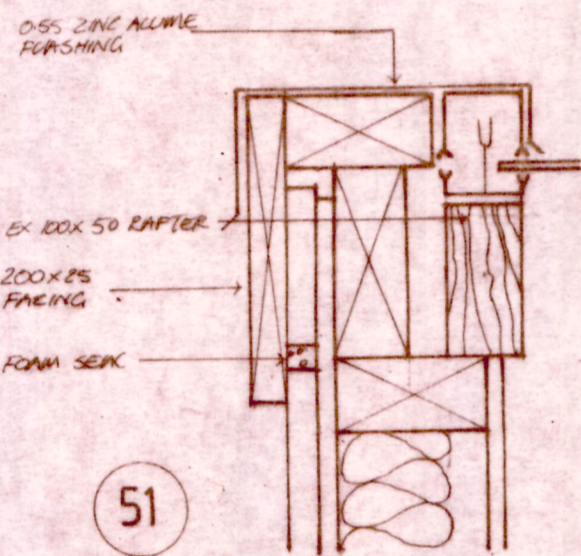
date 12. 97 revisions
scale 1:100
drawn R.S.
checked

Title
PROPOSED MEZZANINE
SECOND FLOOR &
THIRD FLOOR PLAN

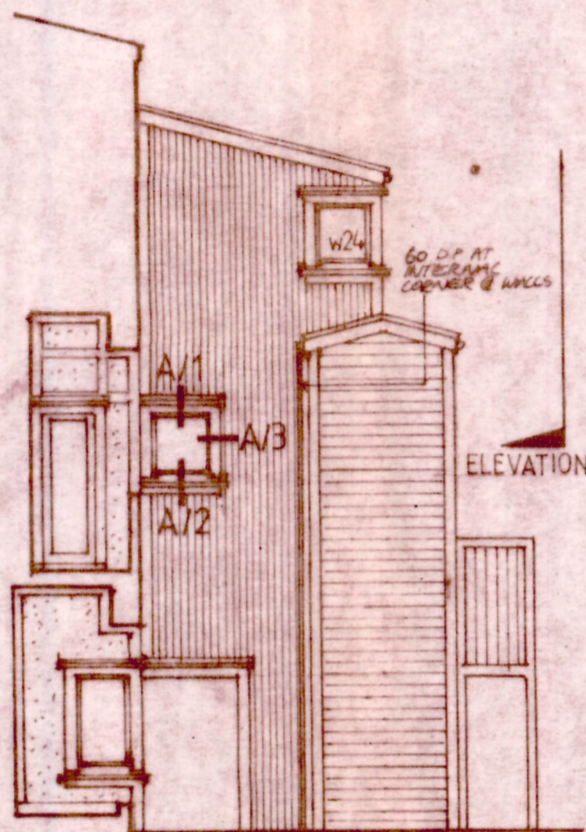
82 25 08 / 12B



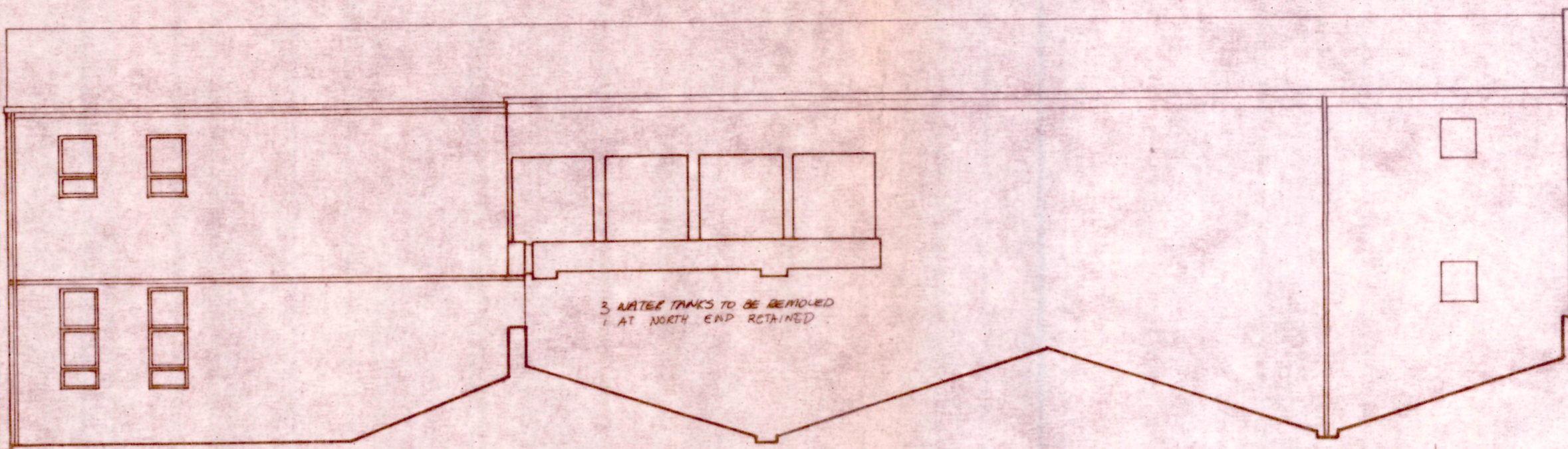
EXISTING NORTH ELEVATION



51
1:5



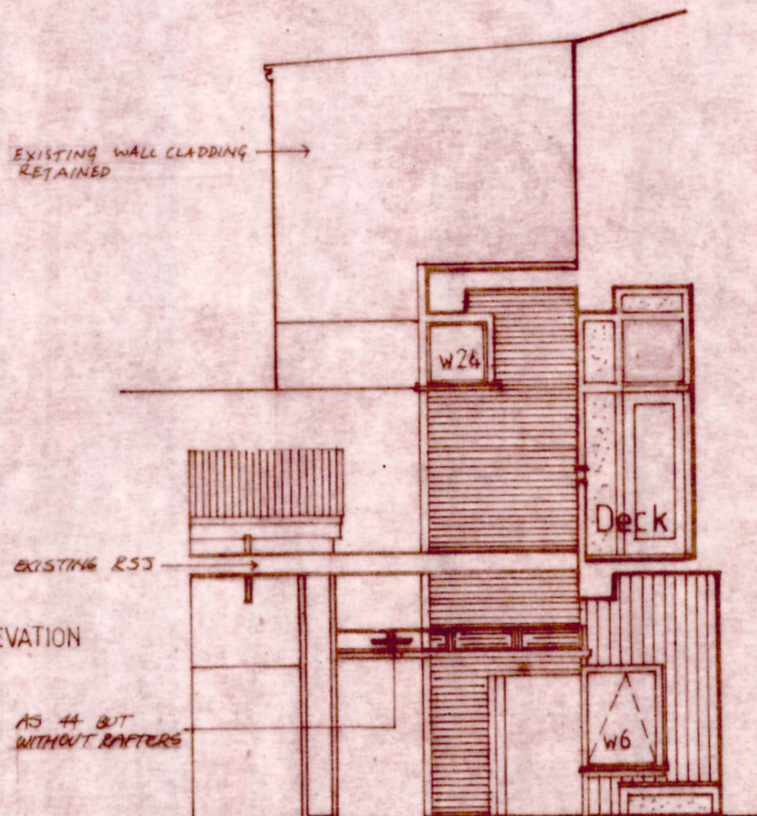
ELEVATION C



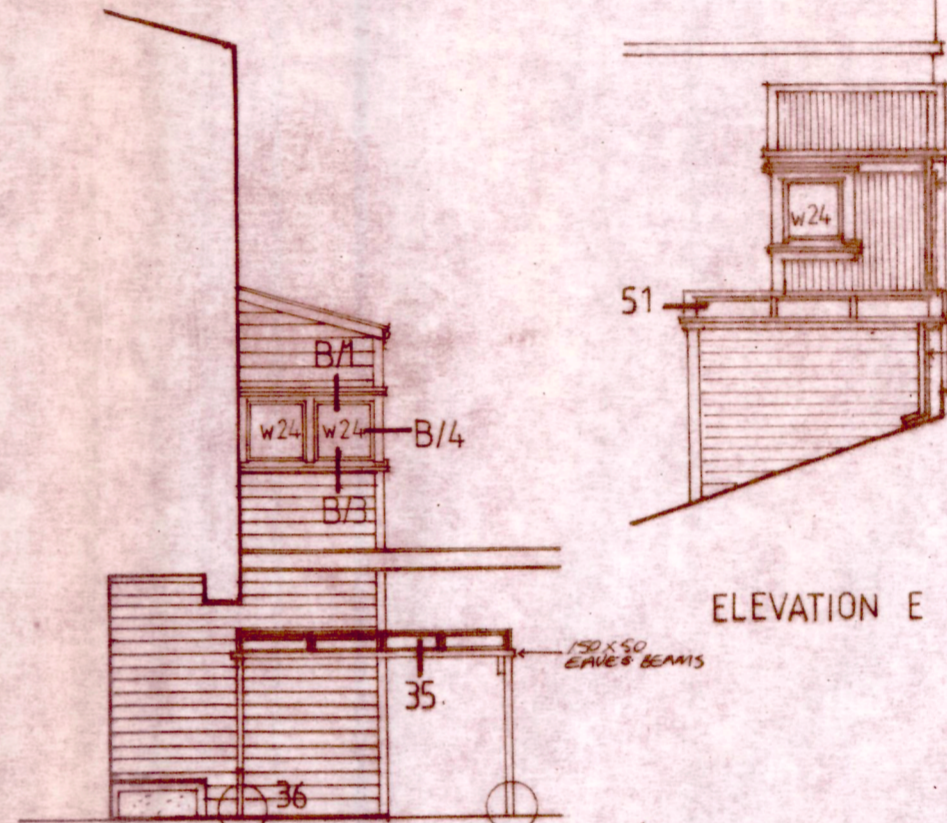
EXISTING WEST ELEVATION



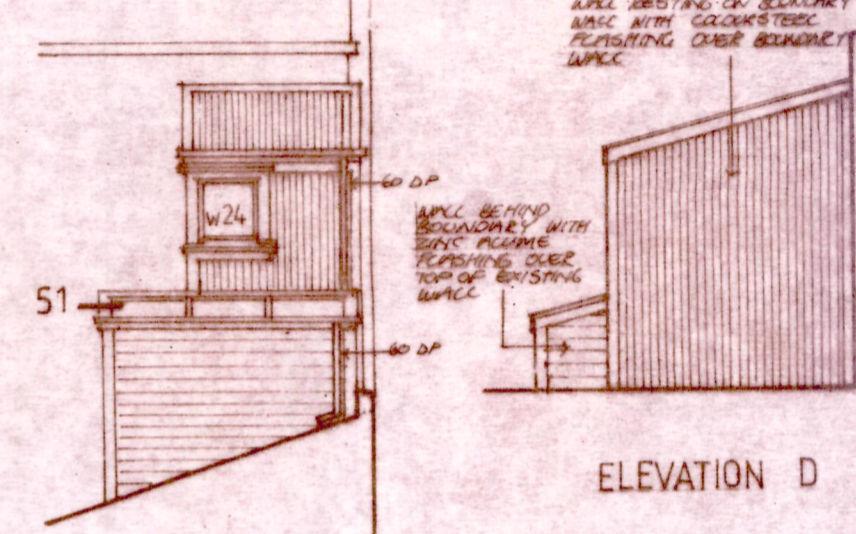
UNIT 9 & 12 STREET WINDOW ELEVATION



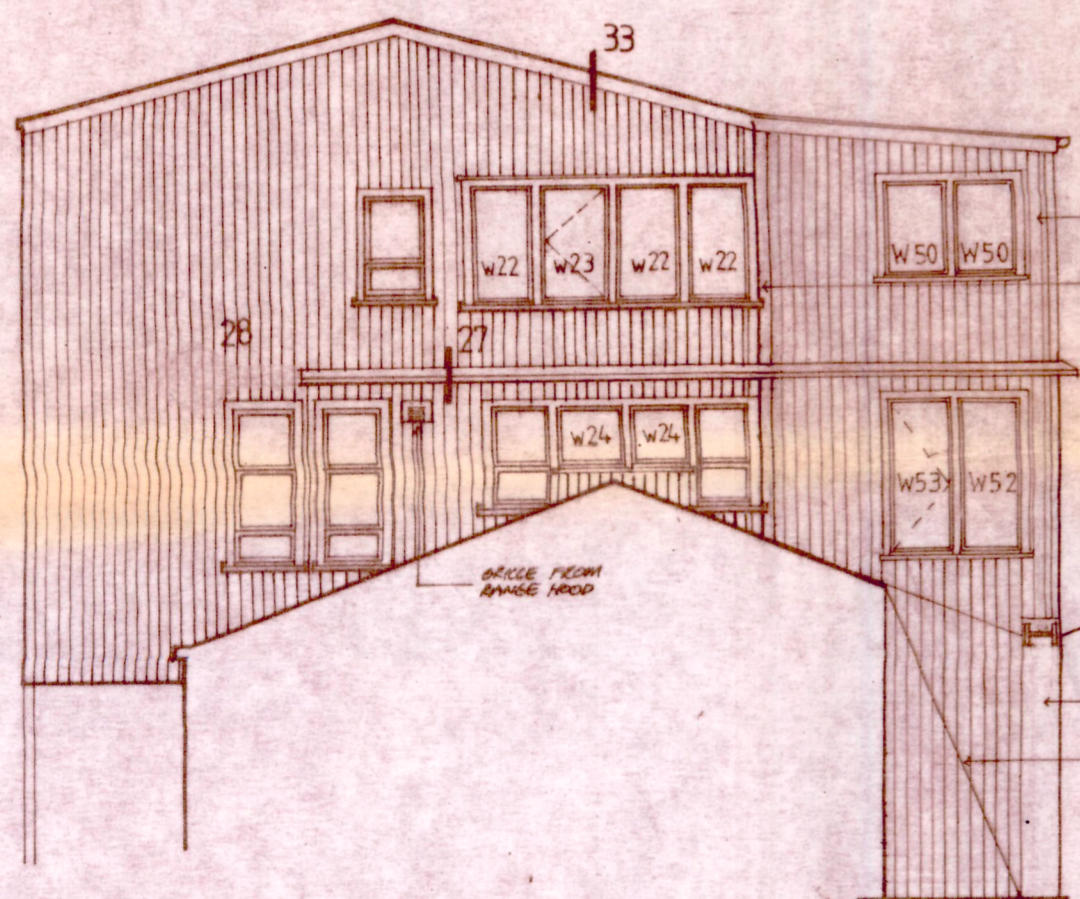
ELEVATION A



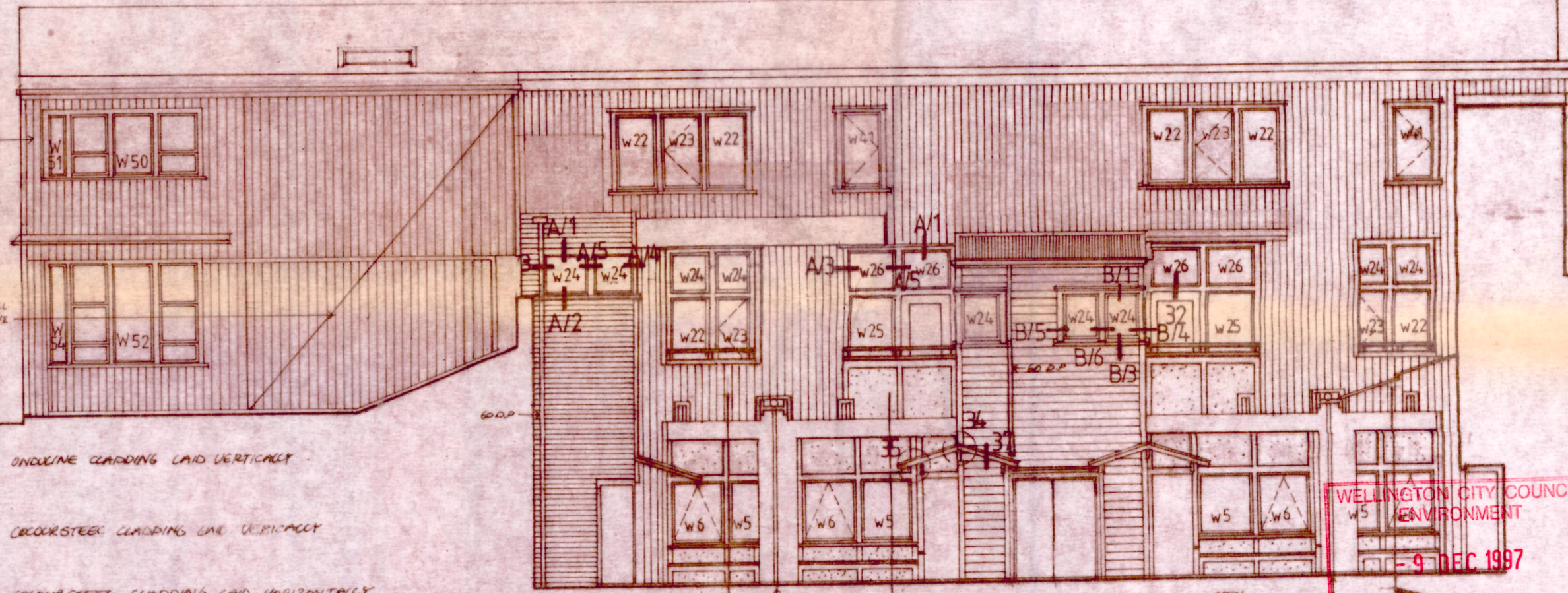
ELEVATION B



ELEVATION D



NORTH ELEVATION



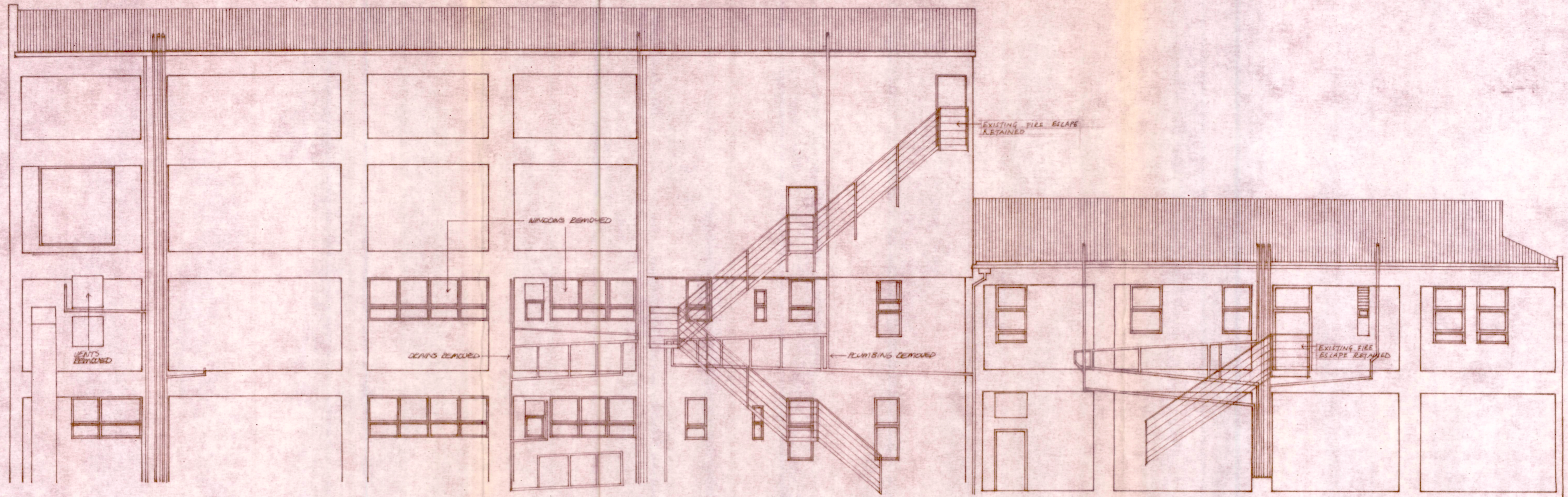
WEST ELEVATION NORTH END

ELEVATION D

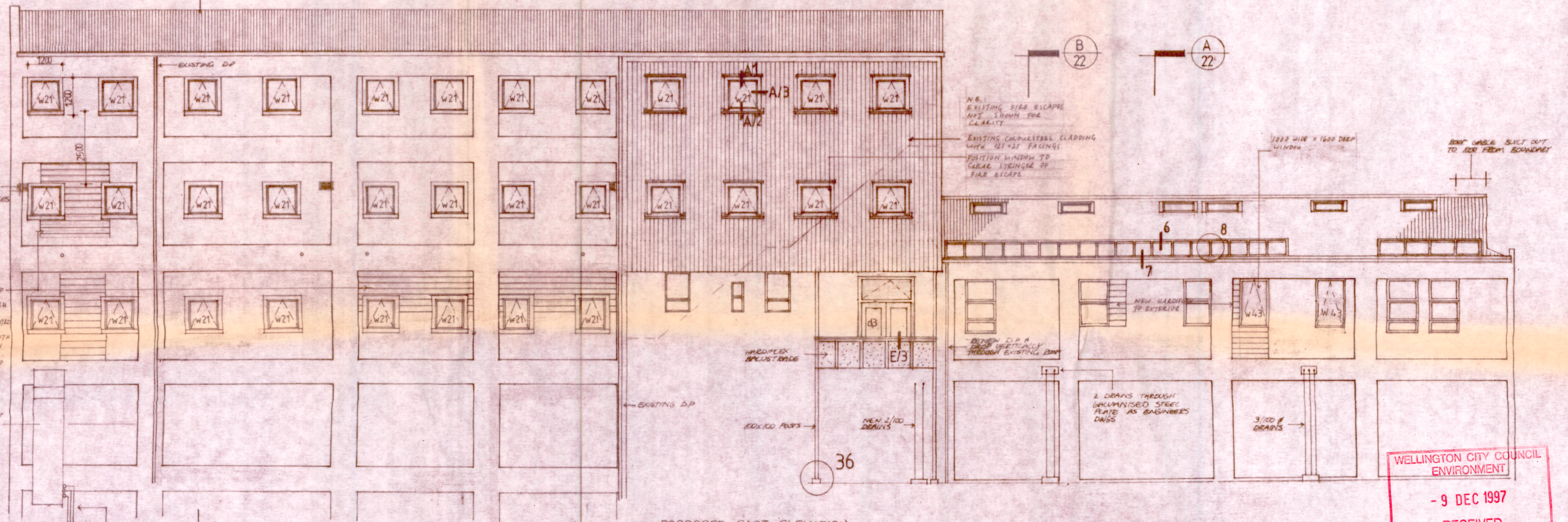
- ONDULINE CLADDING LAID VERTICALLY
- COLOURSTEEL CLADDING LAID VERTICALLY
- COLOURSTEEL CLADDING LAID HORIZONTALLY
- CORRUGATED ZINCALUME CLADDING LAID HORIZONTALLY
- HARDIPEX CLADDING
- EXISTING COLUIMN RETAINED AND IN SOME CASES ADDED TO

WELLINGTON CITY COUNCIL
ENVIRONMENT
- 9 DEC 1997
ELEVATION RECEIVED
WAKEFIELD ST., WELLINGTON





EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION

WELLINGTON CITY COUNCIL
ENVIRONMENT
- 9 DEC 1997
RECEIVED
WAKEFIELD ST. WELLINGTON



melling : morse architects 77 Durham Street Wellington. Phone/Facsimile 384-3174

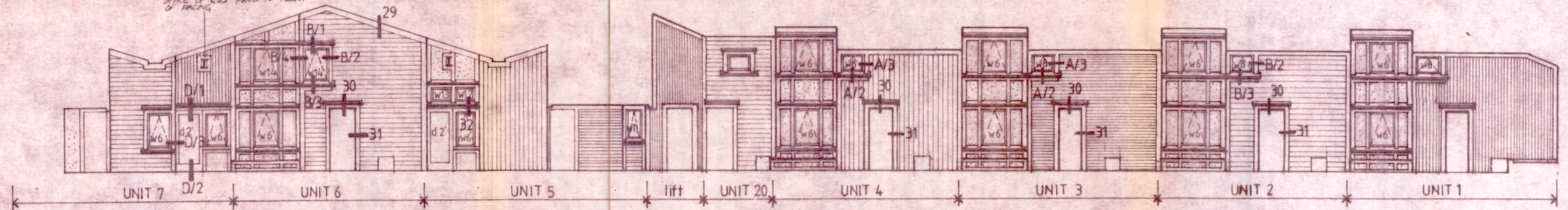
Project
WWMC BUILDING
CUBA ST WELLINGTON

date 8.97
scale 1:100
drawn EJ
checked

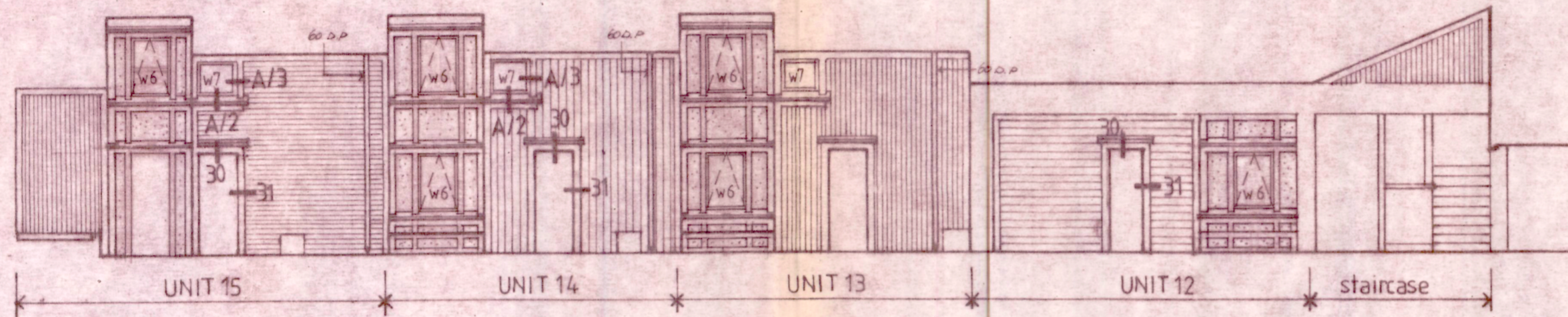
Title
EAST
ELEVATIONS

[82] 25 20A

100% 25 FACING AROUND EXISTING
R2S3 WITH 25 FEET TO INTERNAL
SPACE OF R2S3 FIXED TO FRONT
OF FACING.

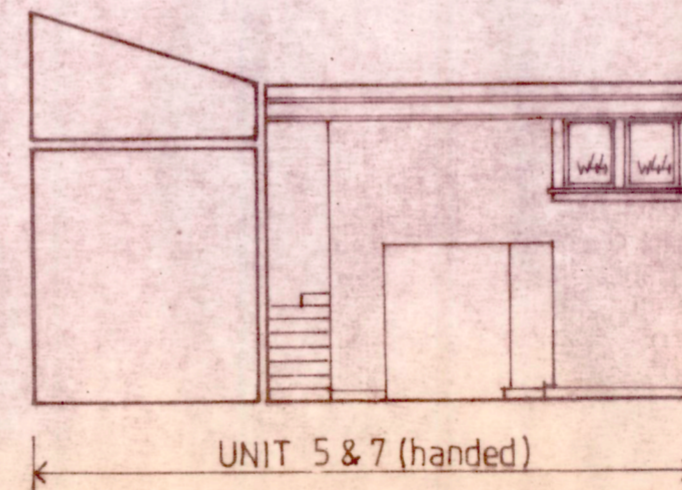
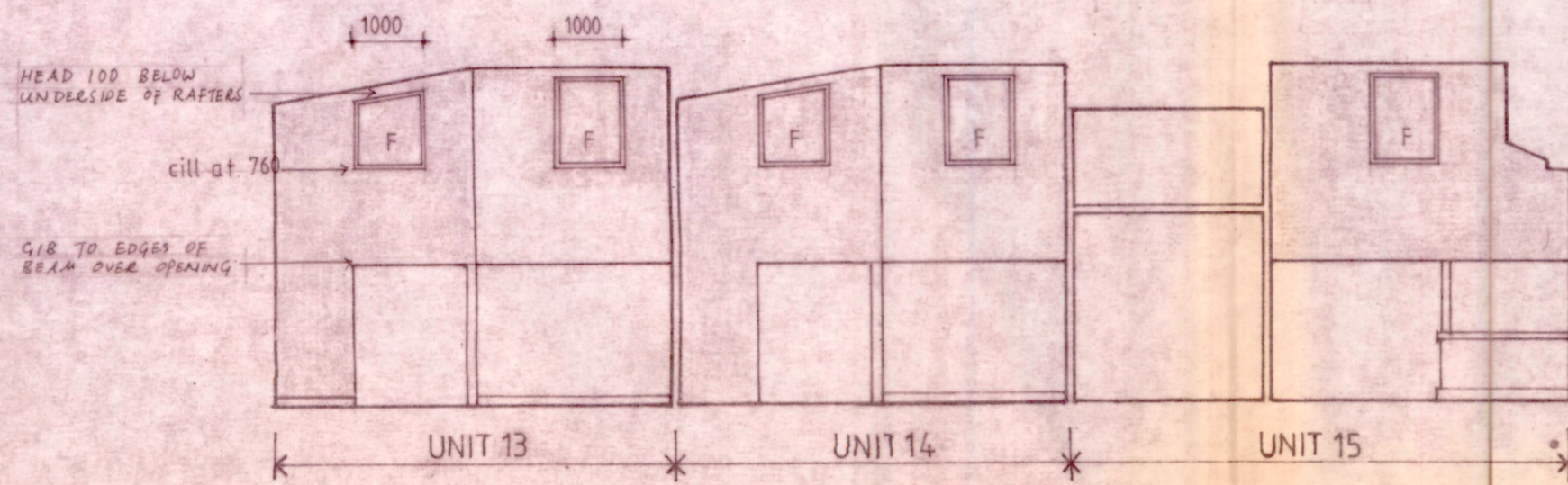


EAST ELEVATION

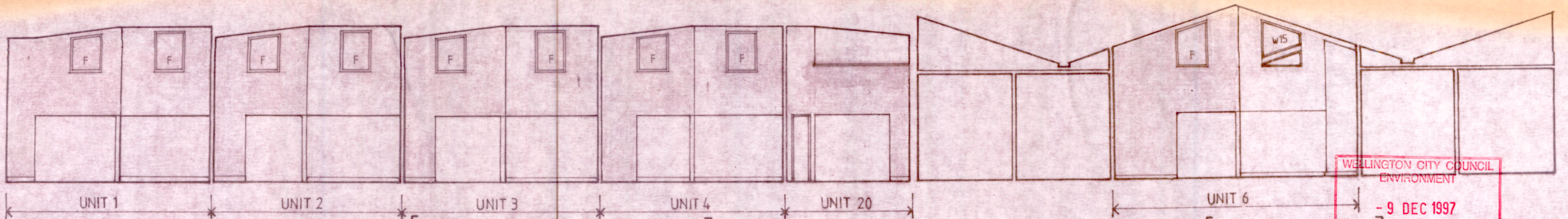


WEST ELEVATION
SOUTH END

NOTE: FOR WPC FINISHES REFER
TO SHEET 19.



F = FIXED CLEAR GLASS SET INTO 20mm
MDF FRAME WITH MDF BEADS.



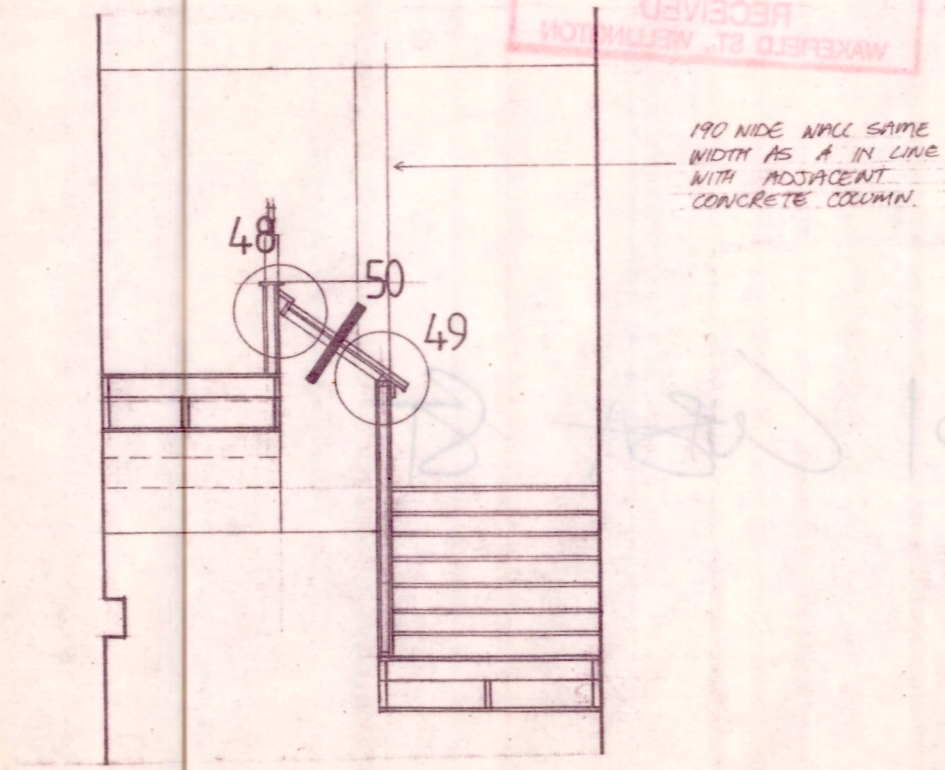
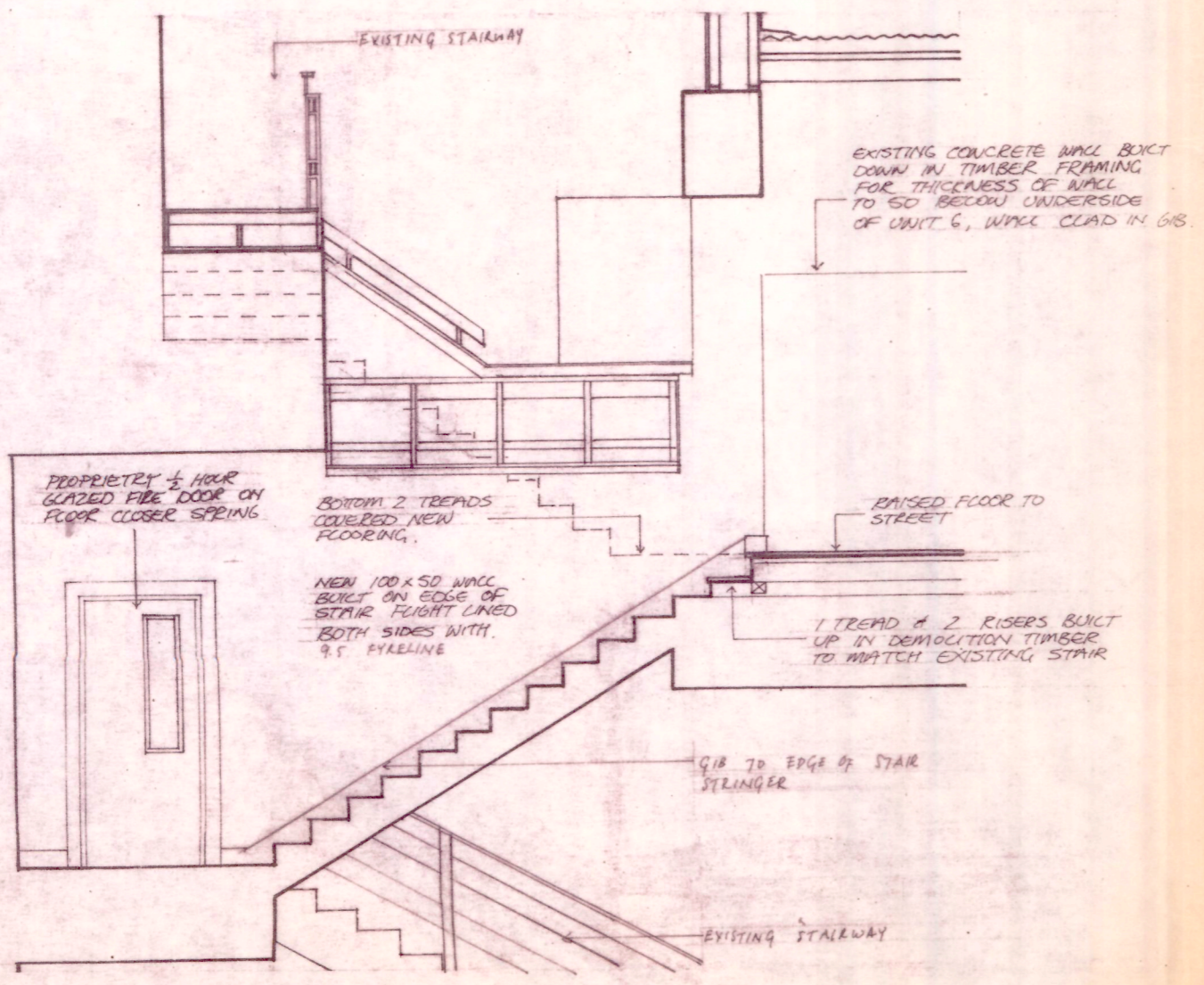
melling : morse architects 77 Durham Street Wellington. Phone/Facsimile 384-3174

Project
WWMC BUILDING
CUBA ST WELLINGTON

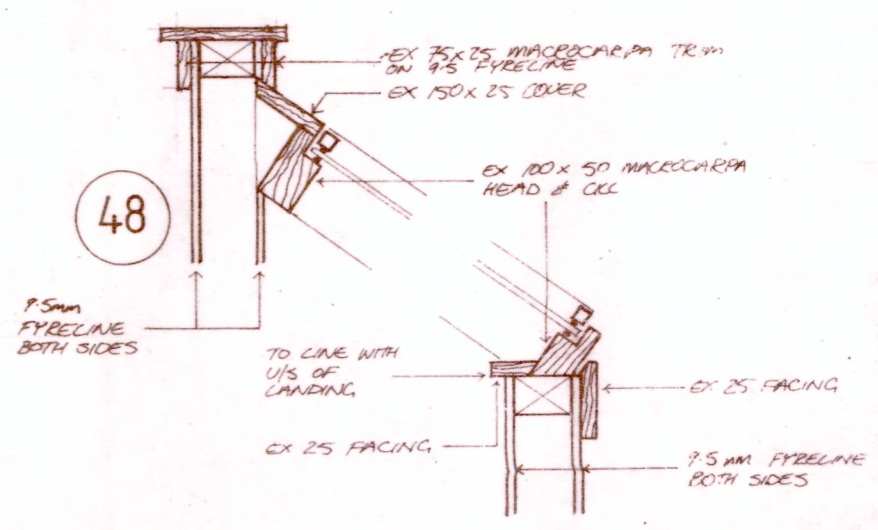
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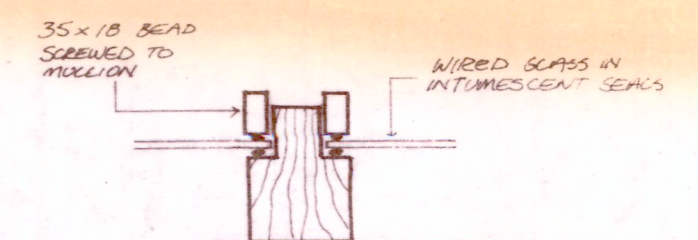
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melling : morse architects 77 Durham Street Wellington. Phone/Facsimile 384-3174

WVWC BUILDING SECTION J-J
 CUBA ST WELLINGTON

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