

Drainage Plan No. 8170

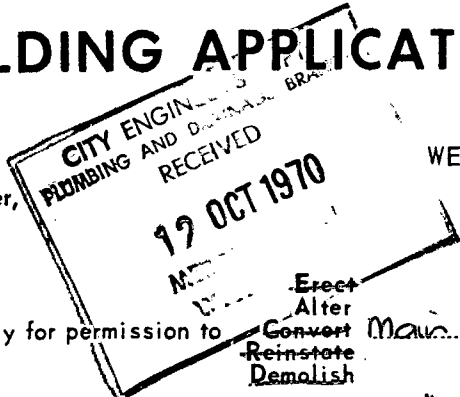
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# BUILDING APPLICATION FORM

To the City Engineer,  
Wellington,

WELLINGTON,  
Date 12 October 1970



Sir,

I hereby apply for permission to

- Erect
- Alter
- Convert
- Reinstate
- Demolish

laundry  
Main bar, new bar and glass

at ~~101-117~~ CUBA ST (HOUSE NO AND STREET) for Wellington Working Mens Club (OWNER)  
101-117 Cuba St Wellington (OWNER'S ADDRESS)

and Specifications deposited herewith.

Particulars of Land Lot No. 1 Town Acre 15.298  
or D/P

Frontage \_\_\_\_\_ by Depth of \_\_\_\_\_ Area 1 ROAD 14-38 Pikes

Particulars of Building - Foundations \_\_\_\_\_ Walls \_\_\_\_\_ Roof \_\_\_\_\_

Area of Ground Floor \_\_\_\_\_ square feet.

Estimated Value of Work:

Number of Storeys \_\_\_\_\_

Building \$ 4,300.00

Area of Outbuildings \_\_\_\_\_ square feet.

Plumbing and Drainage \$ 1,200.00

Number of Occupants \_\_\_\_\_

Total \$ 5,500.00

Water Fee \_\_\_\_\_

Yours faithfully,

*L.T. Guinness*

L.T. Guinness Ltd Builder

Postal Address 9 Francis Place

Wellington

Telephone 558 455

B.F. \$4,300  
P&D. 1,200  
TOTAL \$5,500

12/10/70  
[Signature]

.....  
.....  
*b. baynard h. h.*

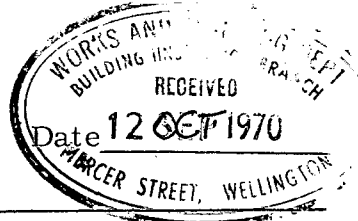
Building Superintendent

Date

*20-10-70.*

*PH*

CITY ENGINEER'S DEPARTMENT.  
BUILDING BRANCH.



Application for ALT. TO BARS. Locality \_\_\_\_\_  
 Owner WELLINGTON WORKING MENS CLUB. Building District No. TE ARO.

		Checked By	Date
1. Description of Lot & Locality & House Nos.	✓		
2. Building Line Restriction P.W. or By-Law.	✓		
3. Encroachment on Street or Council property.	✓	DNN	12/10/70
4. Builder's and Owner's Name & Address.	✓		
5. Storage of Fuel Oil or Dngrs. Goods, D.G. Insp.	✓		
6. Health Branch approval, Food Prem. & Shop.	✓		
7. Special requirements, factories, Licensed Hotels, Boardinghouses, Public Buildings, Picture Theatres.	✓		
8. Means of Egress.	✓	[Signature]	12/10/70
9. Refuse Disposal.	✓		
10. Elevators & Car Docks.	✓		
11. Hoarding & Gantry.	✓		
12. Use of Building & Description of Application.	✓		
13. Values on application.	✓		20
14. Distance from boundaries, Courts & Open Space.	✓		10
15. Frontage, area of site & access to rear.	✓		70
16. Ground levels & foundations.	✓		
17. General Construction.	✓		
18. Chimneys, heating appliances, flues, etc.	✓		
19. Retaining Walls.	✓		
20. Structural Calculations to Structural Branch (Yes/No)	✓		
21. Plumbing and Drainage	See below	x Kelly	19-10-70
22. Town Planning Requirements	Approved	[Signature]	12-10-70
23. Streetworks Requirements, Design Branch	[Signature]	[Signature]	12/10/70
24. Longitudinal Section of Vehicular Access	[Signature]	[Signature]	20-10-70
25. Levels & Approach Crossing Fee \$ District Engineer Deposit \$	✓	[Signature]	12-10-70

**HEALTH**

*Ref to obs of C. Farlane. Advised by MR Rees, Licensing Control Commission that as the Club has a "Permanent Charter" the Commission has no control over internal alterations but receives a "courtesy" flow & will send a report to the C/E. The Building Permit can be issued. Added 13/10/70*

*21. All work to comply with the Dr. & Pl. Regulations. obs work to be enclosed prior to inspection. Applicant to note: x L.P. Kelly, Guinness x The surface spread of flame rating to all walls & ceilings within the bar shall not exceed Class II in accordance with the requirements of NZSS 1900 Clause 5.67. All drapes & curtains within the bar are to be of non-flammable material or alternatively are to be treated with a fire retardant*

solution to the approval of the Chief Fire Officer  
Wellington Fire Board

X L. J. McGuinness

SPECIFICATION FOR ALTERATIONS TO MAIN BAR,  
NEW BAR COUNTER & GLASS LAUNDRY ETC.,

AT

CLUB PREMISES CUBA ST., WELLINGTON

FOR

WELLINGTON WORKING MENS' CLUB &  
LITERARY INSTITUTE.



CONTRACT NO. 1414/70

TENDERS CLOSE *NOON: MONDAY 28<sup>th</sup> SEPT. '70*

DATE OF COMPLETION TO BE STATED IN TENDER.

PERIOD OF MAINTENANCE - 90 DAYS

ROBERTS & MERCER.  
REG. ARCHITECTS,  
HOPE BROS. BLDG.,  
CUBA MALL,  
WELLINGTON.  
P.O. BOX 282.

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- 14. Electrician.
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CONDITIONS OF TENDER.

1. The Tenderer shall submit his tender as a lump sum. The lump sum tender shall include all P.C. items and provisional sums specified, and all fees payable to the Local Body for permits, damage to footpath etc., etc..
2. Each tender shall be accompanied by a crossed cheque for the sum of Twenty five dollars and shall be drawn in favour of the Employer.
3. The lowest or any tender will not necessarily be accepted.
4. The deposits of unsuccessful tenderers shall be returned to them within seven days after the acceptance of a tender or after the Employer has decided that no tenders shall be accepted.
5. Within 14 days of acceptance of the tender the Employer and the successful tenderer shall execute an Agreement for the proper fulfilment of the Contract.
6. In case the Agreement is not completed by the successful tenderer within 14 days from the date of acceptance of the tender, the Employer may revoke his acceptance of the tender, and the amount deposited with the tender shall be absolutely forfeited, and the Employer shall be at Liberty to call for other tenders forthwith and to treat the previous acceptance of such first tender as void. In such case the Employer will not be liable for any claim or demand from the first tenderer for work then already done or material furnished or in respect to any other matters or things whatsoever in connection with the Contract.
7. Within three days after the signing of the Agreement the required deposit will be returned to the successful tenderer.
8. The tenderer shall state in his tender his estimated time required to carry out the work. The work shall be completed in the fastest possible time and this factor will have a bearing on the final decision of the Employer in accepting a tender.
9. The Tenderer shall state in his tender the names of at least two persons whom he proposes as surities for the due performance of the Contract and who will join with him in a bond to be given to the Employer for such performance.
10. Due allowance must be made in the tender for this condition herein stated wherein it is required that no parking of any trade vehicle will be permitted in the rear access way at rear of the building to be altered and being the property of R. Hannah & Co. Ltd. The Employer has R.O.W. from Leeds Street for service purposes to the rear of his building but it must be clearly understood and allowed for that this access is permitted for off loading only and immediately this has been carried out the vehicle or trade van must be removed off the site.
11. The whole of the building will be unoccupied by the Employer and the tenderer will have free an unencumbered access to the whole of the floor areas to be altered or modernised.
12. Check Clause = "Overtime" relating to the inclusion of three periods of weekends work to be allowed for in tender.
13. Allowance must be made in tender for the fact that the building will be in use by the Employer during the course of the work, and that although the tenderer can expect full co-operation from the Secretary-Manager to carry out his contract, due allowance for this aspect of the Contract is presumed to be included. The Contractor is not to take instructions from any others except the Architects or Secretary - Manager.
14. The Tenderer shall allow for attendance and co-operate with specialist installation workers e.g. N.Z. Breweries and refrigeration engineers.

SPECIFICATION of work and Materials Required in the Construction of Alterations to Main Bar - New Bar Counter and Glass Laundry - Club Premises Cuba St for Wellington Working Mens' Club.

GENERAL.

The Contract shall be carried out and completed in strict accordance with ~~the~~ and to the true intent and meaning of this specification, accompanying drawings, and to the entire satisfaction of the Architects. The Contract comprises the provision of all labour, materials and plant, cartage etc., necessary for the proper and expeditious completion of the works described hereunder and as shown, to give a complete and finished work in every detail, or by such further details and ~~the~~ directions as may from time to time be issued.

PERMITS.

The Contractor shall obtain all licenses and permits and shall pay all Local Body and other fees in connection with the work.

SITE.

The whole of the work of this contract is situated on the first floor of the Employers property 1st floor being the existing Main bar area. The Contractor shall visit the site of the work and satisfy himself as to the general conditions and shall be deemed to have inspected the building to be altered as no extra will be allowed under this heading to insufficient or misleading description. The Contractor shall ascertain the area in which he may deliver and remove building materials on or off the site.

CONTINGENCIES.

The Contractor shall allow in his tender the sum of \$750.00 (Seven hundred and fifty dollars) as a provision to cover the cost of any additional work that may be ordered, and the unexpended balance of such sum, if any, shall be deducted from the final amount of the Contract Sum.

INSURANCE.

The Contractor shall if his workmen are not insured in a running policy, effect a policy of insurance in an approved office, in the name of and for the benefit of the Owners and Contractor, to cover compensation to workers for accidental injuries or death suffered in, under or in connection with the carrying out of this Contract. The Contractor shall also effect and maintain during the continuance of the Contract, an insurance against fire, in an approved office to cover fire risk upon all materials delivered upon the site of the works, for such sums as directed.

All receipts shall be presented to the Owners before the work ~~SETTING OUT.~~ is commenced.

The Employers will notify their Insuror relating to additional cover or other wise arrange for increase for the existing building.

SETTING OUT.

The Contractor shall take special care in accurately setting out the work and shall be responsible for same.

MAINTENANCE.

The Contractor shall maintain the works for a period of 62 days from and after the date 95% of the Contract Sum has been paid. Ten per cent (10%) of the Contract Price shall be retained in accordance with the provisions of the Wages Protection and Contractors Liens Act, 1939 and Amendments, for a period of 31 days after the

satisfactory completion of the work.



RETENTION OF MONEY FOR THE PERIOD OF MAINTENANCE.

Five per cent (5%) of the Contract Price shall be retained for the period of maintenance.

PAYMENTS.

Payments will be made as nearly monthly as possible, subject to an account being submitted by the Contractor showing his estimated total cost of labour and materials on site. Such payments to be for 90% of the estimated value of the work and materials on site.

CERTIFICATES.

No certificates given for the purpose of progress payments or on the completion of the work, shall prevent the the Architect at any time before the expiration of the maintenance period and the issue of the final certificate, from rejection all unsound or improper work or materials, and notwithstanding the giving of any certificate that the portions or whole of the work have been satisfactorily performed. The Architects at any time prior to the giving of the final certificate may require the Contractor to remove or amend the work or materials that may be found not to be in accordance with the Contract, and the Contractor at his own cost shall amend or remove all such work or materials when so required by the Architects.

P.C. SUM ADJUSTMENTS.

Throughout this specification certain sums have been allowed for different articles and the Contractor shall allow for these sums in his tender, plus the usual 10% Contractors profit. At the final settlement of accounts the Contractor must produce all receipts and vouchers for articles bought under the Contract which bear P.C. Sums and he shall be entitled to the total sum spent (being the addition of all these amounts) plus 10%. An additional payment to, or deduction from, the Contract Price will be given, or must be granted for the difference in the amount of the total sum spent by the Contractor plus 10% for all articles which bear a P.C. Sum in this specification and the total sum of all the P.C. Amounts plus 10% allowed in this specification.

SUB-CONTRACTORS.

The specification is subdivided in trade sections for the convenience of reference only and it shall not be ~~construed~~ construed that each trade section is an entire and separate contract, hence no claims will be admitted from Sub-Contractors for work not specifically mentioned in a trade section, but which is provided for, expressed or implied elsewhere in the specification. Every trade jointly and severally shall collaborate, wait on, assist and render all necessary assistance to other trades.

ARBITRATION.

Any dispute arising between the Employers and Contractor not soluble by the terms of the Contract, shall be referred to Arbitration within the meaning of the Arbitration Act, 1939.

REMOVAL OF RUBBISH.

The Contractor shall remove, from time to time, all waste materials or objectionable matter or refuse of any kind, including materials not approved as filling from the works and from the lands or premises in connection therewith.

PERUSAL OF DRAWINGS AND SPECIFICATIONS.

The Contractor shall thoroughly peruse the drawings and specification in order that he may include for each and every item including all appurtenances to make a thorough and complete work in every detail, specified or not, as not extra shall be allowed for insufficient or wrong description herein.

ACCESS TO SITE.

Check on access to site of the work. No building materials shall be stored in any position so inconvenient for the Club. The Contractor shall co-operate fully with the Club Secretary and shall carry out all his reasonable requests for the convenience of Club members and the running of the Club activities.

EXTRAS

Where additional amounts will be claimed at the final settlement of accounts for work in addition to that shown on the drawings or specified then at the time of carrying out that extra work the Contractor shall submit his costs and details so that they may be checked and approved by the Architect.

VARIATIONS.

Any variations in materials or finish from that specified hereunder shall be listed before the Contract is signed where difficulty is expected to arise in supply and such list shall be read as part of the signed contract if agreed to by the Employers.

AMBIGUITIES.

All items whether shown in the drawings and omitted from the specification or vice versa shall be deemed to be part of the Contract. Where any clauses or items conflict it shall be referred to the Architects and their decision shall be final.

BYLAWS AND PERMITS

The Contractor shall give all usual notices to the Local Authority arrange for the inspection and tests of all work, pay all charges for connections for water and drainage connections etc.

SIGNING CONTRACT.

After a tender has been accepted the successful tenderer will be asked to sign an original copy of this Specification and an original copy of the Drawings and the General Conditions of the Contract as agreed between the N.Z. Federated Builders Association and the N.Z. Institute of Architects.

COMPLETION.

The work shall be completed in a period of 10 weeks from the date of issue ~~for~~ of the Building Permit for the work. The Contractor shall deposit the plans and specifications for permit purposes to the Local Authority immediately the Contract has been signed.

COMPLETION.

The work shall be undertaken with all possible speed once the work on site has commenced and shall be fully staffed at all times.

See under Conditions of Tender re completion.

OVERTIME.

Allow for special overtime rates and Sunday work on three consecutive weekends - Saturdays and Sundays. The Club will arrange as far as practicable to give the Contractor access to Bar Space during whole period of the work, but no claim for extra payment for obstruction or possible inconvenience caused to the contractor due to the Club's activities (subject to reasonable notice of factual obstruction by members being notified to the Sec. Manager) will be recognised.

PROTECTION FENCE. The Contractor shall provide protective fence and barricade of substantial firmness to the areas where he is working and maintain these in proper condition.

SPECIAL INSURANCE.

## SPECIAL INSURANCE.

The Contractor shall give proof of special Public Risk Insurance for any accident due to his activities to protect him and the Employer of any claims for a total sum of \$200,000.00

## DEMOLITION WORKER.

### GENERAL.

All demolition work and removal work under all trades shall be carefully and correctly carried out to cause as little wrecking of the existing building as possible. Preserve all parts from entry of damaging weather or unlawful entry.

### DEMOLITION WORK IN BAR.

Allow for all demolition work as shown on inferred including all amendments to the existing, including the preparation for the new work and additions, making provision for connections to the existing. Allow to remove all joinery to be removed and that to be "removed and refixed" to be properly stored, amended as necessary and prepared for re-use in the new work. All "opened up" parts shall be properly temporarily tommed ~~wek~~ and braced. All demolished materials to become the property of the Contractor and where suitable may be re-used in the new work. All surplus demolished materials to be carted off site.

Generally allow to carry out all demolition and removal work to effect the alterations shown.

### MAKING GOOD

All areas adjacent to the demolished sections shall be made good and prepared for the new work and shall be deemed to have been allowed for in the original tender.

### NOTE.

See also under Trade headings for further references to demolition work.

### REMOVAL OF RUBBISH.

The Contractor shall arrange with the Secretary- Manager for use of gantry (in loads not to exceed the permissible maximum) and at times to sit and shall arrange where demolished materials are excessive to have these removed off site by other means.

Any damage caused to the building by the removal of demolished materials or the bringing in of new materials is to be made good at the Contractors own expense.

TILING WORK.

PROVISIONAL SUM.

The existing tiled areas are to be amended, lifted, cut, made good to a line, or as will be directed after the new bar is constructed and shall consist of making good to the area occupied by the present bar counter.

As the extent of this work will be as directed allow the Provisional Sum of \$650.00 plus 10% for this work including tiling work to new counter and splash back areas etc. of the new bar.

CARPENTER AND JOINER.

NOTE.

The joint trade Carpenter and Joiner is combined into one section for ease of taking off and specification writing, and both trades must be read together and each should be checked that any item specified in one might be more normally included in the other or vice versa and no extra will be payable due to misunderstanding by either trade in this combined section.

GENERAL.

Frame, erect and fit all Carpenters and Joiners work in accordance with the N.Z.S.S. 95 Part II. Leave all parts in good working order and make good all shrinkages and other defects.

TIMBERS.

All framing timbers to new bar, false wall, partitions etc., shall be dry gauged cl. ht. rimu for floor joists, and No. 1 framing grade Tanalised Pine elsewhere. All timber shall be dry and no timber direct from yard will be accepted.

AMENDING AND MAKING GOOD.

Check plans, check on site before tendering, and carry on-site before tendering, and out all necessary amending of existing ~~to~~ "finger bays", decor and finish to the existing to effect the work shown. Remove old bar counter, false ceiling over bar, etc., etc.

NEW FALSE WALLS

Allow to construct new framed false walls, bar enclosure walls strapping etc., with 4" x 2" studs at 18" crs, gauged, dwanged and prepared for linings to the extent shown.

Allow for full height studs to existing exterior walls of bar. This requirement may be altered and any extra work which could be ~~invol~~ involved will be paid ex the Contingency Sum. All studs and dwangs shall be gauged two sided. Studs shall be at 18" centres and checked 1/4" into plates, top and bottom. Studs shall be of sufficient length to give the stud heights shown. The framing shall be checked with straight edge before linings are erected. Bumps and irregularities in framed walls shall be put right at the Contractors expense.

DWANGS.

Provide and fix dwangs to all framed walls to suit linings. Dwang around W.H.B's, and all other units to provide adequate fixings.

BACKING.

Allow to cut in solid dressed backing to a height of 4' 0" to all interior faces of all new framed walls.

TRIMMING.

Allow to carry out all necessary trimming cutting, blocking, etc., etc., also all cutting, supports for service wiring or piping.

PATCHING AND MAKE GOOD.

Allow to patch and make good all parts exposed to view by the demolition or removal work in all positions in matching materials and in such manner as approved by the Architects.

FALSE FLOOR. Construct new false floor to bar as shown, 3" x 2" cl. ht. rimu at 16" crs, covered with pre-finished 3/4" Finafloor fixed with Galvanised nails sanded and prepared for floor coverings. Joists to sit on Butynol and not be fixed hard thereto. Form framing as required for steel ash trough.

FALSE CEILING.

Construct false ceiling to main bar area (not glass laundry) consisting of 4" x 2" joists at 18" crs, prepared for "Luxalon" ceiling use Scott Webb beam T.F./32, tripligrip to joists as shown.

The top of these joists to be sheathed w<sup>th</sup> 4" x 1" T & G tanalised rimu flooring close cramped up, by wood clean off and neatly finished to walls.

Provide fixing for Baked Enamel Fascia.

SHEATHINGS.

See under linings.

SCRIBERS, BEADS ETC.

Allow to provide all necessary scribes, beads, finishing moulds as required to leave good class job. Beads to be kept to a minimum and shall only be fixed as approved by the Architects.

PROV. SUM FOR HARDWARE.

Allow the provisional sum of \$40.00 for hardware as selected. Allow to take delivery and fix as required.

PROV. SUM FOR NEW SHELVING.

New shelving as required and not shown on the drawings shall be provided as directed ex. a P.S.

Allow \$300.00 nett for this work to include for any stripping and brackets.

Pack down Fitting.

Allow to pack down above shelf unit at rear of bar counter.

PELMETS.

Provide and fix ex 8" x 2" solid mahogany facepelmet full length of bar at rear of bar, provide ex 8" x 1" cl. white pine to back board of this pelmet. Ceiling of pelmet lined 3/16" hardboard.

SHEATHING TO SCOTT WEBB BEAM

Provide and fix formica face corboard faces on two sides of Scott Webb beam taken across edges and back up the inside of the pelmet so formed.

Screw fix these in regular pattern with C.P. on brass screws.

JOINERY

JOINERY UNITS.

Supply and fix ex joinery factory the following units. These units are to be constructed to the best and highest joinery standards and ~~is~~ no inferior work will be permitted. Construct units generally in dry cl. rimu, corboard backings, selected solid mahogany facings and beads, formica tops, formica removable panels, vent holes, hardwood beads, all glue fixings, formica faced door, checking all sizes, Titus vent (not ex Hardware P.S.) stainless steel lined drawers, fixed panels etc. etc.

(1) Supply and fix bar counter as above in position shown, complete with all detailed recesses for cash registers, cut out sections for draining trays etc. etc. Provide formica face shelf approx. 3" wide where shown for bottle fitting.

(2) Supply and fix W.H.B. unit in glass laundry all as detailed.

(3) Supply and fix unit, unit shelving etc., at rear of bar counter.

CONTD.

{4) Supply and fix unit and shelf units to glass laundry, as detailed provide st. steel angle slides to extent shown (not ex Hardware P.S.)

PROVISIONAL SUM FOR SPECIAL FINISHES.

Allow the prov. sum of \$100.00 to be spent as may be directed for special finishes, in the bar;.

LININGS.

GENERAL

Check under Carpenter and Joiner re areas and preparation required for areas to be lined.

INTERNAL LININGS.

(1) Provide and fix selected ht. cedar, dressed timbers to match existing bar wall linings to the framed walls of glass laundry and counter area (visible from the bar proper) using galvanised nails, anodised aluminium, protective angles, ~~paret~~ protective angles, solid metal corners as protection generally to match the existing.

(2) Provide and fix  $\frac{1}{2}$ " Plycopyne as backing to mirrors on rear wall of bar counter.

(3) See under Carpenter and Joiner re backing timbers, and line the whole of the new framed walls (before joinery is fixed) with 3/16" formica faced hardboard, using P.V.C., mouldings, to all walls of bar area and glass laundry.

CEILING BAR.

Line the whole of the false ceiling to bar with selected colour Hunter-Douglas Thuxolon ceilinglinings, fixed to makers specification. Provide and fix special baked enamel 22g. aluminum facing to edge of the above false ceiling.



PLUMBER.

GENERAL

All plumbing materials and workmanship shall be of the best procurable and shall be carried out strictly in accordance with the Local Body Bylaws. The work shall include for all fittings and appurtenances to give a complete and finished work.

EXTENT OF WORK.

The plumbing work consists generally of the installation of new piping, wastes, extending existing services, cutting off and sealing existing pipe work, making new runs, supplying and fixing new units etc., All to the extent required for the new bar setup.

UNITS TO BE SUPPLIED.

(1) Provide and fix new special sterilizing, sink and bench<sup>ch</sup> in new bar counter, 1½" anti-vac trap, solid drawn waste, connected to existing 4 3" diameter waste under existing bar, control stopcocks, faucet outlet. Extend ~~wast~~ existing hot and cold.

(2) Provide and pipe for new stainless steel bench, sterilizing sink, upstand etc., 1½" diameter anti-vac, extend waste and connect to existing (similar to (1))

<sup>bench</sup> (3) Provide and pipe for new special stainless steel W.H.B. in ~~laundry~~ where shown stainless steel recesso in supstand etc., new pillar cocks, 1½" anti-vac trap; s.d. copper waste connected to existing.

(4) Provide and provide trapped outlet to two stainless steel drainage trays in bar counter.

(5) Provide and fix H.C, outlets where directed for cleaning purposes.

(6) Provide hot inlet, 1½" diameter trap and waste, complete and pipe for and refix existing glass washer in new position in glass laundry.

(7) Provide and fix 4 floor wastes in the bar and glass laundry areas, interconncted and taken through exterior wall of building Provide proper grates, flap. valve. Use 1½" solid drawn copper.

(8) Provide cold supply and drainage outlets to Bottle Cooler and ice maker units.

STOPCOCK CONTROL.

Provide accessible stop cock control to all sinks, W.H.B. and units in bar to give independant service for maintenance purposes.

EXISTING UNITS.

The existing units in bar are to remain the property of the Employer and shall be credited if any taps, stopcocks, wastes or other appurtenances are used.

VENTS.

" Amend, extend and provide all regulation back vents, etc. flashed at roof to meet Local Body requirements.

P.C. SUM.

Allow in additon to specification above sum of \$100.00 ~~le~~ plus 10% for additional small plumbing items if so directed.

PAINTER.

GENERAL.

Materials shall be of the best of their respective kinds. Samples of all painting and enamelling shall be prepared and Employers approval obtained before commencing work. All paint work to be properly protected from the weather, dust etc., etc. Any defective work shall be redone. All locks, fastenings must be removed while painting work is in progress and refixed on completion of same.

All glass must be cleaned at completion of the work, all areas must be protected from paint droppings and all such defects must be corrected by the Painter.

PRIMING OR SEALING

All new dressed timbers exposed to view shall be properly sealed at time of fixing not ex prov. sum for Painter.

PROVISIONAL SUM FOR PAINTING.

The Prov. sum for painting refers to be the new bar and adjacent areas only, including repainting the ceiling of the new bar. Any or further painting requirements will be negotiated seperately with the painter.

For the above work allow the prov. sum of \$550.00 plus 10% for painting and redecorating work as will be directed.

GLAZIER.

GENERAL.

Refer to Carpernter and Joiner and the detail drawings for mirror work required. Glass for mirrors to be "mirror qulaity", silvered and backed with sealed edges, drilled for fixings etc., as necessary with polished edges.

EXTENT OF WORK.

Allow to measure up, provide and fix mirror glazing to the wall area shown at back eb of bar counter and to mirror over W.H.B., in glass laundry.

ELECTRICIAN.

GENERAL. All electrical work shall be carried out to meet the Electrical Wiring Regualtions and shall be priced at the appropriate time when the work is opened up and the extent of the Club's requirements are known.

PROVISIONAL SUM.

Allow the prov. sum of \$350.00 plus 10% for the amendeing, extending, sealing off of existing wiring, removing and serviceing existing fittings and rewiring etc., wiring for sterilizing sinks, bottle cooler, ice maker etc., etc. including any new fitting.s.

MISCELLANEOUS.

BUTYNOL SEAL.

Prepare exposed floor area of new work, sand off, and provide Butynol to whole area to form watertight seal under whole of the bar serving area and glass laundry, properly taken up wall to be carried out by specialized firm.

SUSPENDED CEILING TILES.

Allow to check out, remove existing cut tiles and provide and hang new matching fibrous plaster ceiling tiles to the false ceiling area removed over the old bar counter.

PROV. SUM FOR VINYL.

Allow the prov. sum of \$160.00 plus 10% for the supply and fixing of new Vinyl flooring, to new work as under:-

(1) The whole of the area of new bar service, glass laundry, the divisional walls of new bar counter, and unit in glass laundry as directed.

CARPET.

The alteration or extension of the Carpet areas is in the hands of the Club and is not part of the Contract.

City Engineer's Department

RECEIVED

12 OCT 1970

HEALTH BRANCH

Building Branch



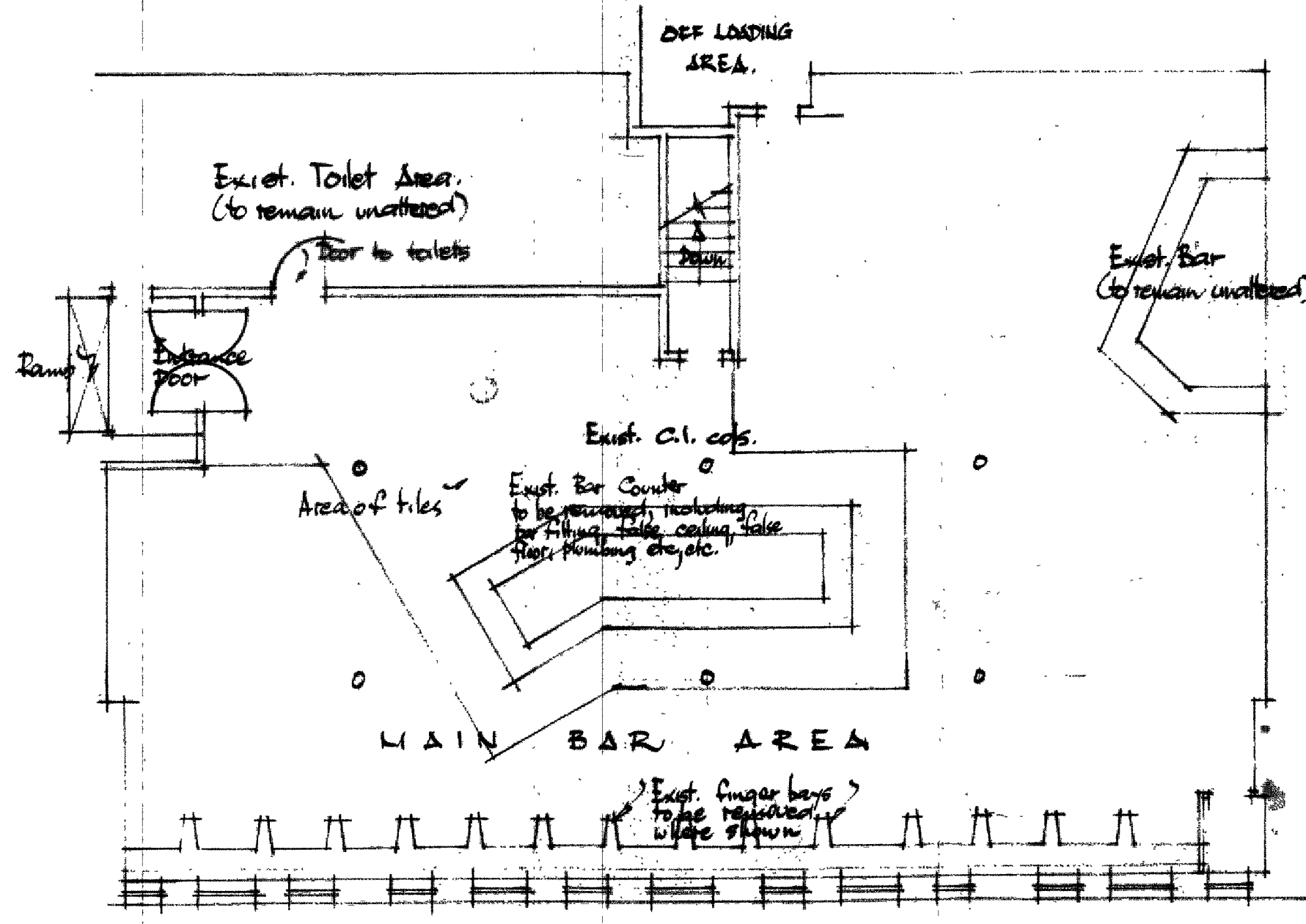
Date:.....

To: HEALTH BRANCH:

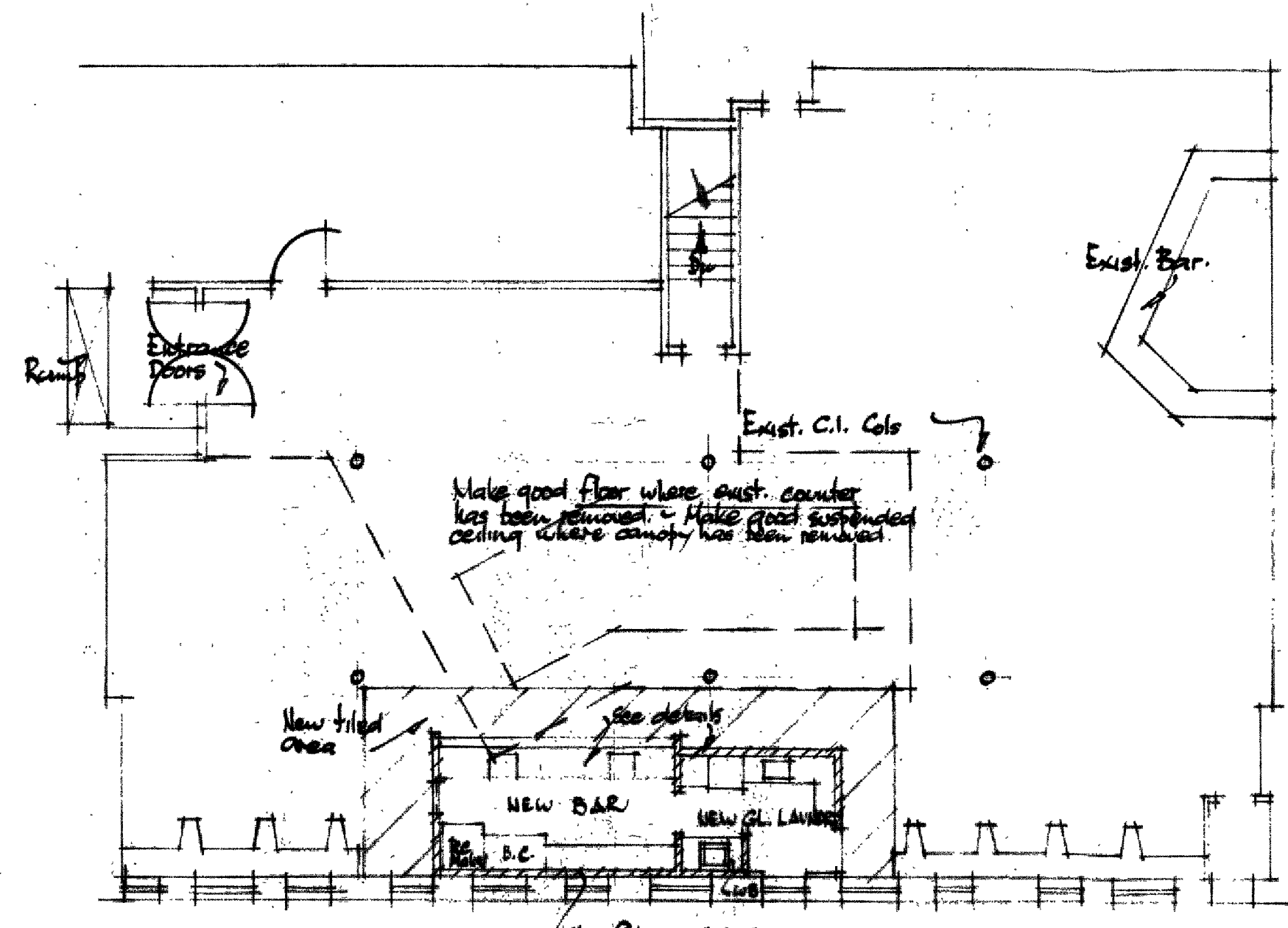
For your requirements under the Health Act, 1956 -

*Complies with Health Act requirements*

*Lawrence* 13/10/70

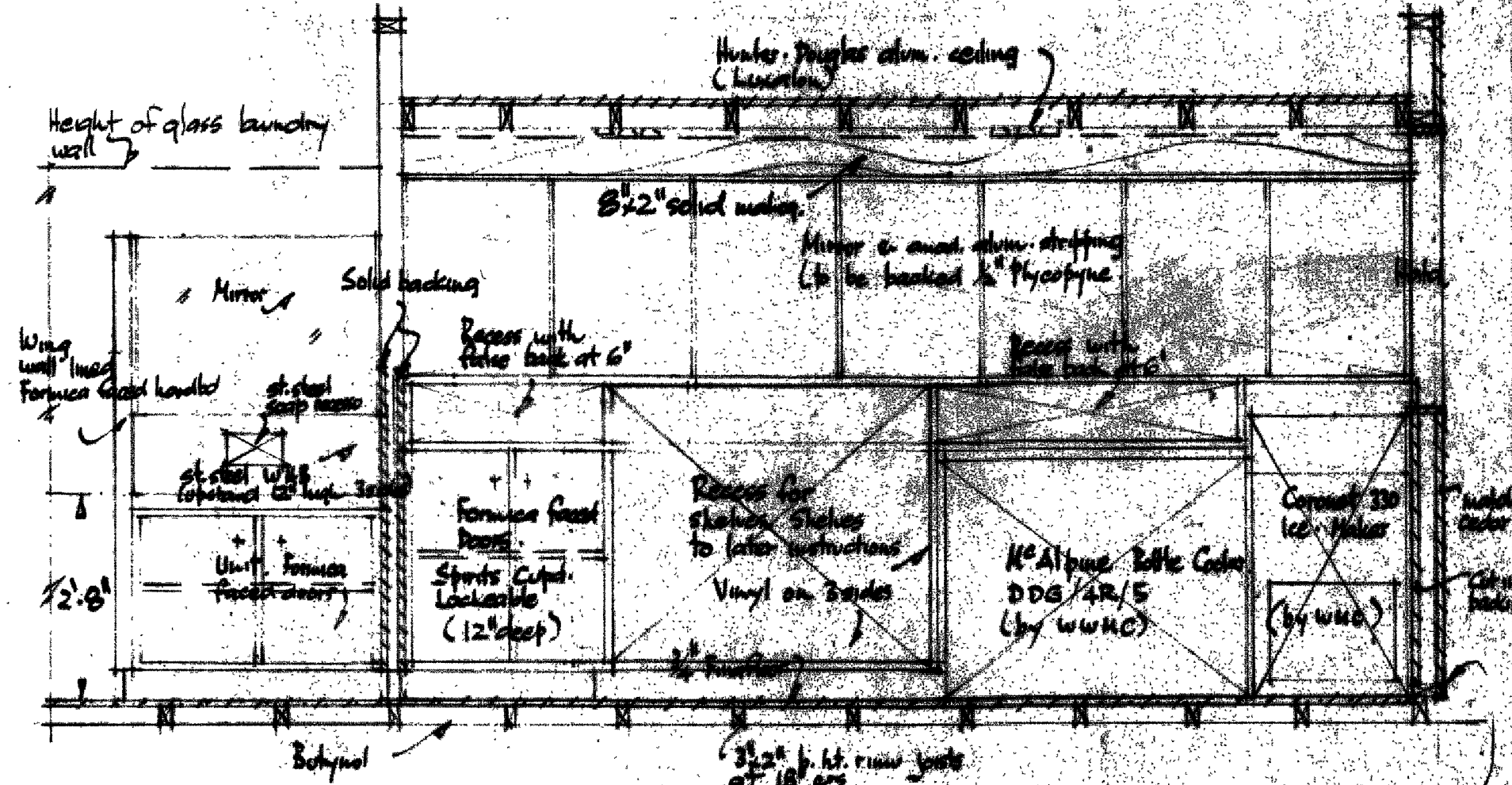


PLAN OF MAIN BAR AS EXISTING



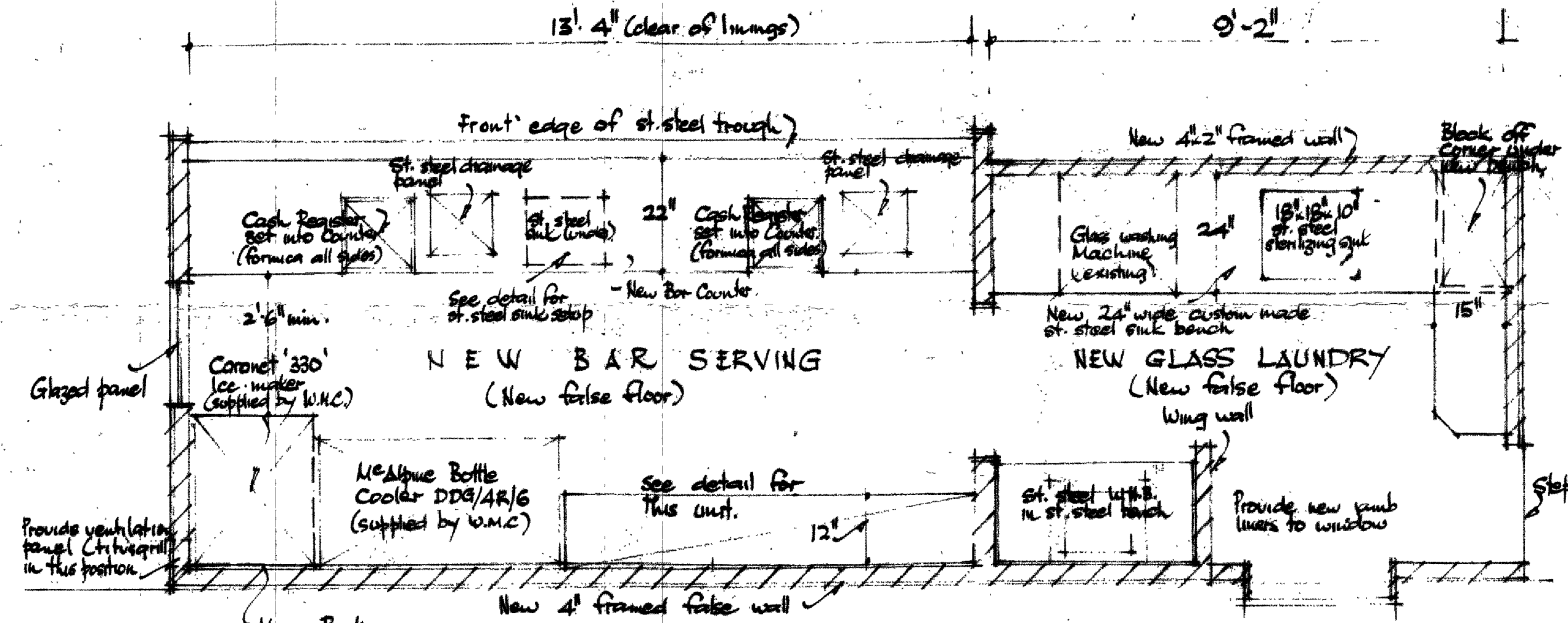
PLAN OF MAIN BAR AREA - SHOWING NEW BAR COUNTER, NEW BAR SERVICE & GLASS LAUNDRY

Scale: 1/8" = 1'-0"



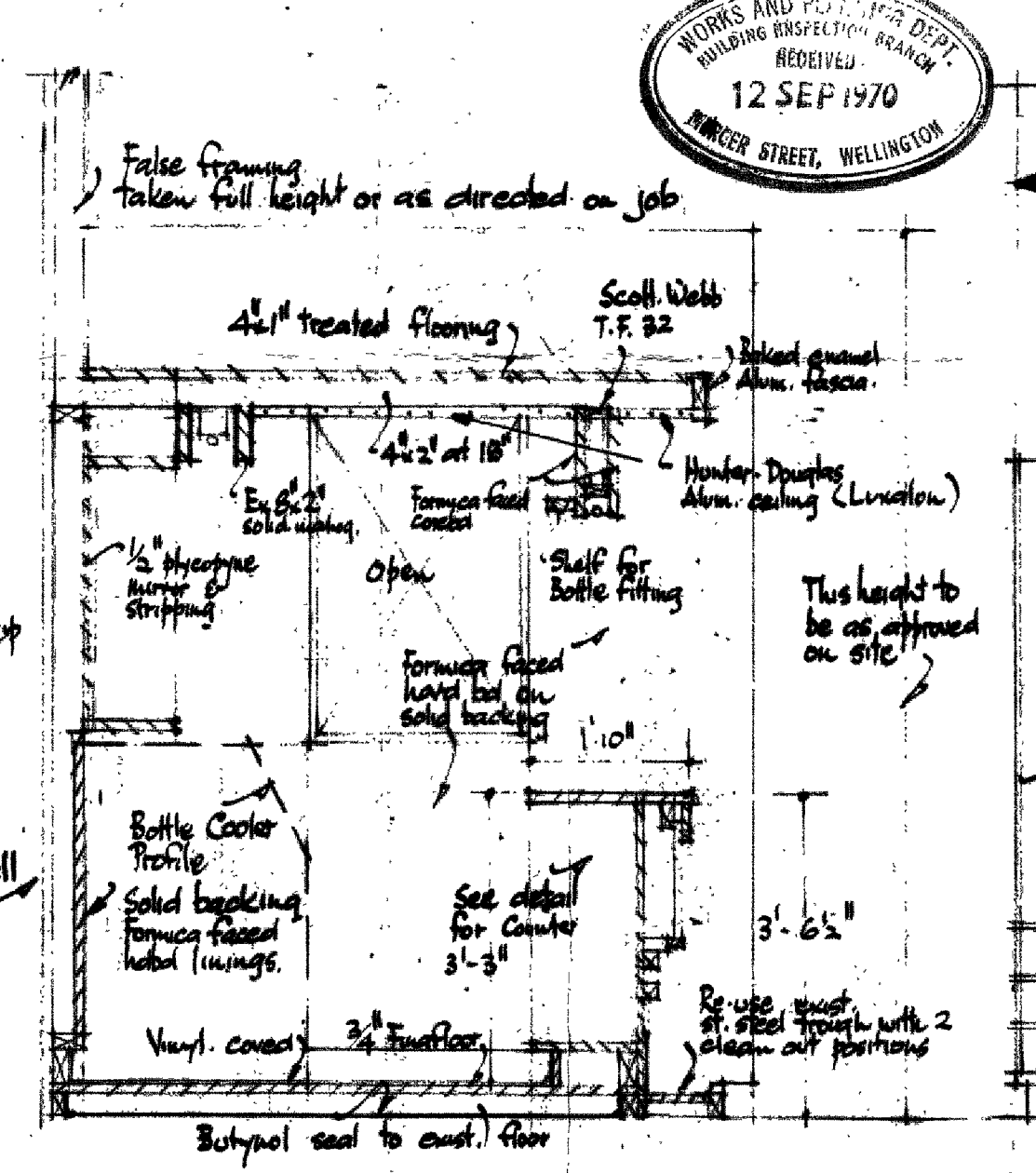
ELEV. REAR WALL OF BAR & W/B FITTING TO GLASS WASHING AREA

Scale: 1/2" = 1'-0"

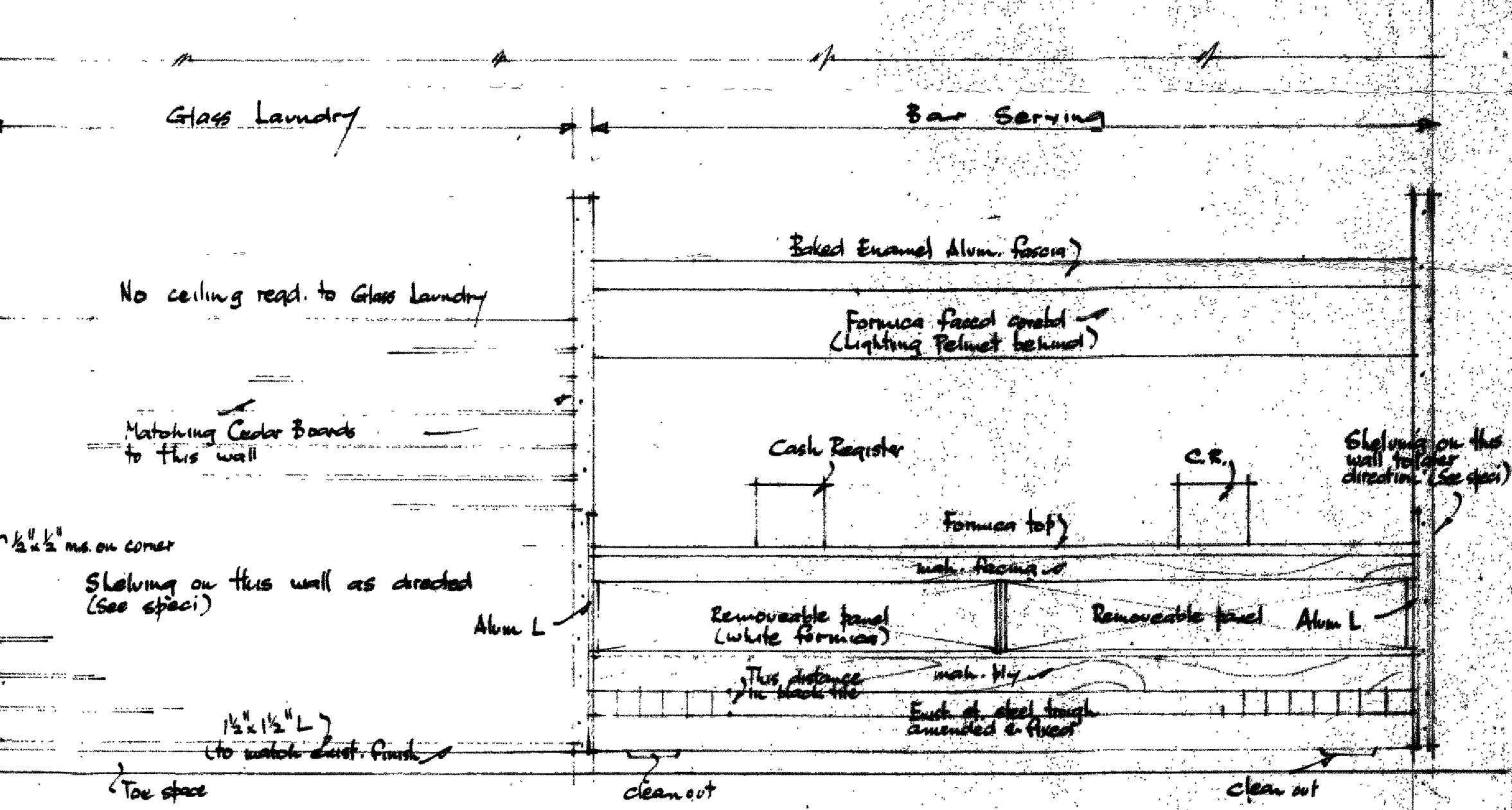


DETAIL PLAN OF NEW BAR COUNTER & SERVING AREA AND GLASS LAUNDRY

Scale: 1/2" = 1'-0"

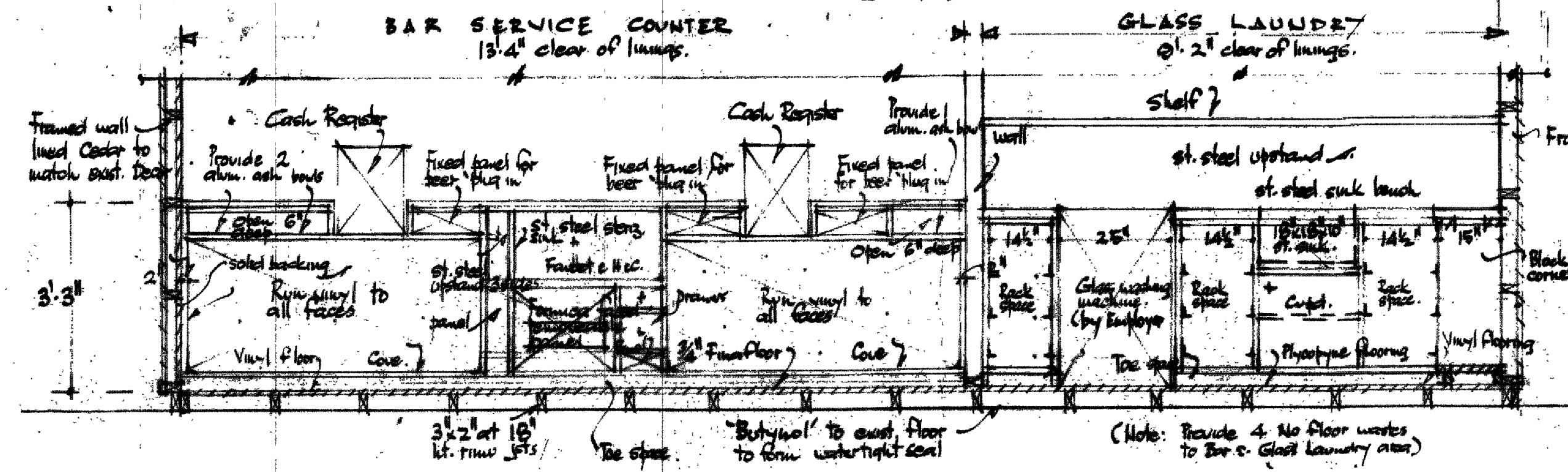


SECTION THRU BAR



ELEVATION OF GLASS LAUNDRY & BAR COUNTER FROM MAIN BAR

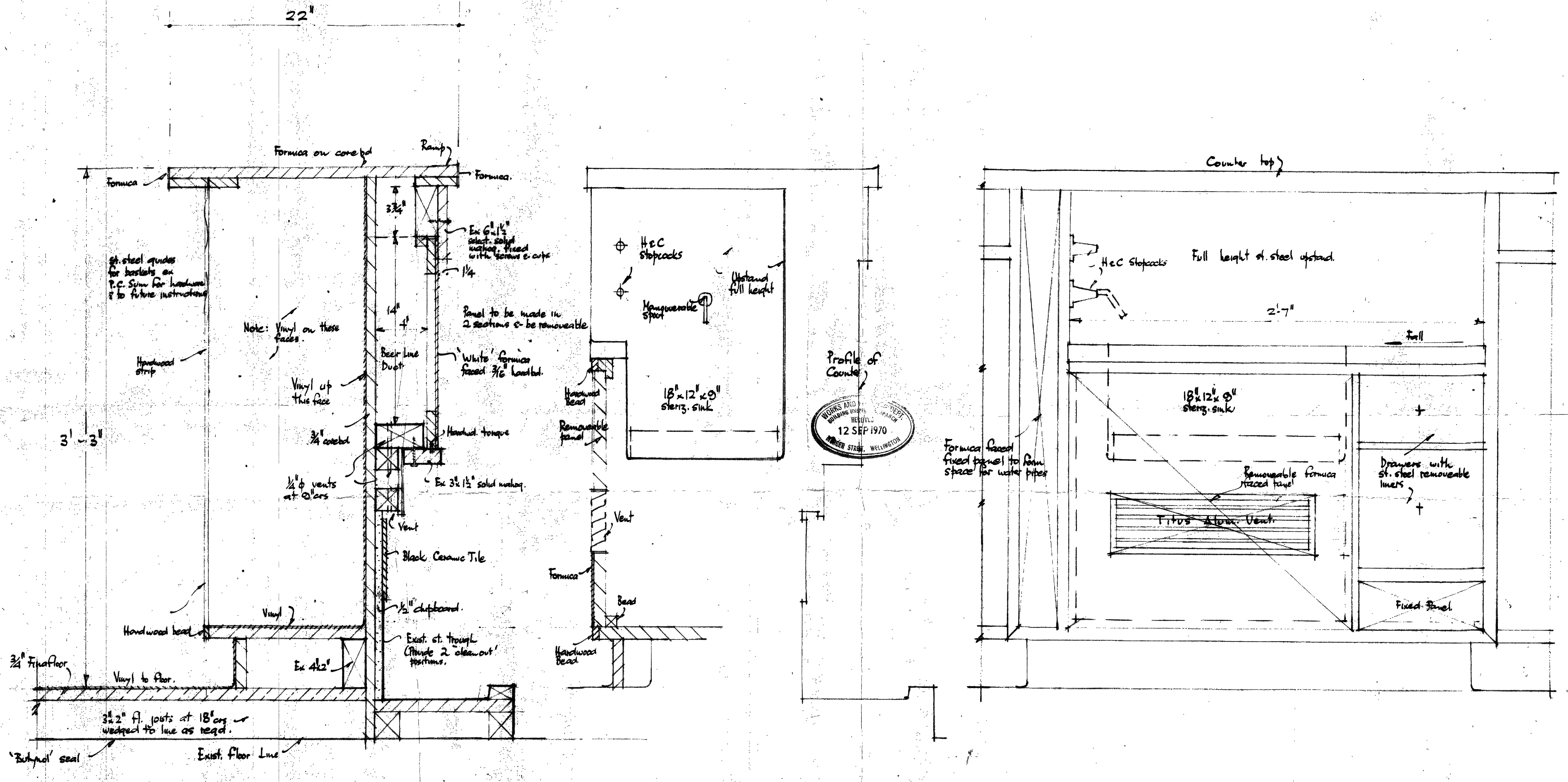
Scale: 1/2" = 1'-0"



ELEVATION FROM REAR OF NEW BAR COUNTER & GLASS LAUNDRY UNITS

Scale: 1/2" = 1'-0"





DETAIL SECTION THRO' NEW BAR COUNTER  
 AT SINK POSITION  
 Also see Sheet One for Cash register position, Sterilizing sink, drainage panels  
 in Counter top, Beer 'plug in' panels etc.  
 1/4 FULL SIZE

AT SINK POSITION

ELEV. OF SINK POSITION