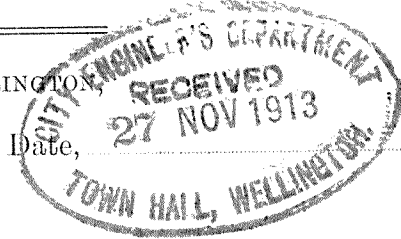


BUILDING APPLICATION FORM.

WELLINGTON,



Date,

19

To the City Engineer,

Wellington.

SIR,

I hereby apply for permission to erect shop
in Kulca St. Street, Section 1
part of Town Acre 154 for Knights Garage
of Wellington according to Plans and Specifications
deposited herewith at the estimated cost of £ 2580.

Yours faithfully,

Kampbell Stewart

Postal Address

Winter St.
W. Wellington

Wamiappan

Anchoring New building

Detail of beam-column connection

P.H.

15 12-13

Wellington, March 2, 1923

City Engineer.

Please give plans
of my building corner
of Cuba & Ghuzne str.
for the purpose of a
valuation to Messrs.
Burke Ltd

Vegid

Edwin Gould

Royal Oak Hotel

S. GILMER.
PROPRIETOR.

Wellington 8th Nov 1923
N.Z.

Mr. Brunel.
City Council
Wellington

Dear Sir
I would give
you M.S.D. Mch. all
particulars of the
Contract of car Bullock
estate at the time of
Cuba & James Street
in the name of Emma
and W. Geyette.
and also
Sincerely
W. Geyette

22-565

$$\begin{array}{r} 180 \\ 21760 \\ \hline 272 \\ \hline 20148960 \end{array}$$

$$\begin{array}{r} 112 \\ 16 \\ \hline 272 \\ 108 \\ \hline 21760 \end{array}$$

Stoves 48.2 tons
 Roof 10.8 tons
 Benches 33.6 tons
 4
96.6 tons

Benches

$$\begin{array}{r} 30 \\ 16 \\ \hline 180 \\ 30 \\ \hline 460 \\ 140 \\ \hline 10200 \\ 480 \\ \hline 67200 \end{array}$$

~~$$\begin{array}{r} 48960 \\ 21760 \\ 67200 \\ 8500 \\ \hline 146420 \end{array}$$~~

$$\begin{array}{r} 48960 \\ 48960 \\ 21760 \\ 67200 \\ 8500 \end{array}$$

$$\begin{array}{r} 16 \\ 10 \\ \hline 100 \\ 40 \\ \hline 140 \end{array}$$

$$\begin{array}{r} 224 \times 19538 \text{ Q (87)} \\ 1792 \\ \hline 16746 \end{array}$$

Safe load 72 tons

S P E C I F I C A T I O N of Works and Materials

required for the erection and completion of
a Building in Cuba Street, Wellington for
MESSRS. MOULT AND GEORGETTI.

October 1913.

PRELIMINARY. Builders are requested to carefully read the General Conditions of Contract hereto attached.

The Builder will be required to effect such insurances as stated in Clauses 29 and 31 of General Conditions.

All fixed ^{values} of any articles or material herein mentioned shall be at prime cost (p. c.) as set forth in Clause 16 of Conditions, exclusive of fixing, and any increase or decrease in amounts so mentioned shall be added to or deducted from the Contract sum.

The Builder shall provide all plant, scaffolding etc. for the proper carrying out of the work.

The work of all trades connected with this contract shall be executed strictly in accordance with the City By-Laws.

S I T E. The site of the proposed building is that piece of land situated on the South-East corner of the intersection of Cuba and Ghuznee Streets and has a frontage of 34ft. to Cuba Street, and 66ft. to Ghuznee Street.

The old wooden buildings at present occupying the site will be removed by the employer.

E X C A V A T O R

Clear away all old asphalt, rubbish etc. and excavate the whole of the site to allow for the concrete floor being laid at the level shown.

The whole of the site shall be thoroughly rolled, rammed or otherwise



consolidated and left level as required by the Concretor.

Excavate as required for all foundations, drains etc. and thoroughly ram and consolidate all re-filling.

All rubbish and excavated earth not required for re-filling shall be removed from the site.

BRICKLAYER AND CONCRETOR.

BRICKS. All bricks shall be true in shape and well and evenly burned, and all inferior bricks shall be immediately removed from the site. All bricks shall be thoroughly wetted as they are used.

AGGREGATE. All aggregate for concrete work shall be well graded hard clean fresh water gravel or broken stone, containing enough sand to thoroughly fill the voids.

The aggregate for foundations under brick walls shall have no stones larger than will pass through a $2\frac{1}{2}$ " ring, and all other concrete shall be made with aggregate having no stones larger than will pass a $\frac{3}{4}$ " ring.

SAND. All sand shall be thoroughly clean and sharp.

CEMENT. All cement ~~shall~~^{shall} be "Crown" "Golden Bay" or other approved brand of Portland.

CONCRETE. The concrete for foundations under brick walls shall be composed of one cement to six aggregate. The concrete in stanchion foundations and all other concrete shall be composed of one cement to four aggregate.

All concrete shall be mixed on a proper mixing board and shall be turned twice dry and twice while the water is being added. The water shall be applied through a "rose" and on no account shall the open hose be used. No concrete shall be used which has been mixed for more than half an hour.

All concrete shall be allowed to set at least 48 hours before the super-imposed work is commenced.

FOUNDATIONS. The foundations shall be of concrete laid to the dimensions marked or shown. The foundations under stanchions shall be reinforced with $\frac{7}{8}$ " Steel bars laid both ways as shown in No. 2 sheet of drawings.

FLOOR, BAND COURSES ETC. The whole of the ground inside the building shall be covered with 6" of concrete laid true and level, and the top shall be floated and steel trowelled to a smooth surface with one to two cement and sand within half an hour of the concrete being laid.

The stanchions in shop fronts and the compound girders over, shall be wound round with No. 8. Galvanised wire at 6" pitch and encased in concrete to the dimensions shown.

The girder supporting Verandah shall be encased in a similar manner.

Form the Band course, including cornice in concrete as shown in section A. B. and also band courses at First floor and roof levels in new wall round Area. These band courses shall be reinforced with three continuous $\frac{3}{4}$ " round steel rods each. In the cornice band course two of these rods shall pass through holes in the ends of R. S. J. to form anchors. Over windows the band courses shall be additionally reinforced with $\frac{7}{8}$ " Indented steel bars which shall be two feet longer than the width of openings. Other openings shall have concrete lintels 12" deep and reinforced as above.

BRICKWORK. All brickwork shall be laid in English bond i. e. alternate courses of headers and stretchers and no four courses shall rise more than 13". Every course shall be well filled and flushed up and every second course shall be well grouted with liquid mortar.

All brickwork shall be laid in cement mortar composed of one cement to three sand which shall be used within half hour of

mixing. A three-ply Genasco or other approved dampcourse shall be laid in all brick walls at a point immediately below the concrete floor. This shall be the full width of the walls and lapped at least 12" at joints. All brick walls shall have continuous properly jointed No. 16 Galvanised hoop iron in every ninth course one hoop iron to be every half brick thickness of walls.

Build up the new walls to the height shown and in accordance with the marked dimensions.

The south and east walls are existing party walls. The top of east wall, except the front part, is to be about the height of new roof, this shall be increased in height with 14" work to form the parapet and wall of roof house, as shown.

Where the new walls intersect with party walls a toothing must be formed by cutting away three courses at every two feet in height and by cutting a continuous channel $4\frac{1}{2}$ " wide and $2\frac{1}{2}$ " deep from top to bottom of the walls and flush with the inside of new walls.

Properly form all sill courses, piers, and other projections as required by the Plasterer.

Build in the ends of all girders etc. Cut into party wall at least 9" to support the ends of girders and properly fill round with concrete when the girders are in place.

Build in all anchor irons, bolts etc. in new and old walls as required, and build in all door and window frames etc.

Build bolts into the new and existing walls as required to fix channel stanchion partitions etc.

STEEL WORK.

All steel work shall be done in accordance with the requirements of the City Engineers' Department.

CARPENTER.

TIMBER. All timber shall be the best of its class, clean straight grained and free from bad knots, shakes and other defects, and where not otherwise specified shall be Red pine. All timber shall be well seasoned.

JOISTS. All joists shall be spaced at 18" centres. The joists of First floor shall be 14 x 2 and flat roof shall be 12x2 supported on 4" x 3" bearers, bolted to girders at five feet centres with $\frac{1}{2}$ " bolts. The east ends of joists shall be protected with two ply Malthoid and let $4\frac{1}{2}$ " into ~~every~~ party wall, and the west ends shall be supported on 4" continuous corbel formed in the concrete. Every third line of joists shall be anchored to the walls with 2" x $\frac{3}{8}$ " straps as shown in detail drawing. Fix two rows of 2" x 2" herring boning in each span.

All trimer and header joists shall be 14" x 3.

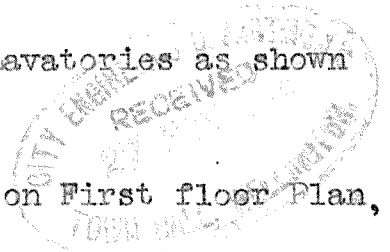
The joists in Verandah roof shall be 5" x 2" with packing pieces on top to give a 2" fall towards gutter. The joists of stair landings shall be 4" x 2".

The joists of flat roof shall be packed up to give a 2" fall to each side.

FLOORING. All flooring shall be 4x1 T. & G. Heart Matai in long lengths, and it shall be well cramped and doubled nailed. The nails shall be well set in and all joints dressed off flush.

PARTITION FRAMING. All studs shall be spaced at 18" centres. The opening studs and trimmers shall be 4" x 3", other studs and top and bottom plates 4" x 2". The plates shall be checked to receive studs and all partitions shall have two rows of 3" x 2" bridging. Fix stud partitions round the Lavatories as shown and on two sides of the roof house.

A W. C. and Lavatory similar to that shown on First floor Plan,



shall be built on the first stair landing below roof.

ROOF BOARDING. The flat roof and the roof of Verandah shall be covered with 4" x 1" Dressed boarding well cramped up and double nailed.

Shallow gutters shall be formed with a fall to outlets as required.

Cover the roof and walls of Roof House with 1" boarding well cramped up and doubled nailed, and form a box gutter as required by the Plumber.

GENERAL. The rafters of Roof House shall be 5" x 2" at 18" centres.

Fix around Verandah a 2" fascia, 1½" cover board, and cornice^e and fillets as shown. This shall be dressed Heart of Totara. Also fix 1" dressed Heart of Totara fascias, cover boards, and corner stops on Roof House as shown.

The Verandah joists shall ^{be} supported on wood bearers as shown, bolted to the girders with ¾" bolts at 3ft. centres. Box in these girders as shown in detail drawing, and line the whole of the Verandah ceiling with O. B. ¾" T. G. V. and centre V. matched lining well cramped up and doubled nailed.

Fix all centering etc. as required by the Concretor.

The false ceilings over entrance recesses shall be framed with 4" x 2" joists and covered with Matai flooring, the edges of these ceilings to be properly finished with riser boards, and the under sides to be left ready for Plasterer.

Finish the floor and roof round stair opening with 1" risers and nosing.

Fix 2" x 1" pieces round girders at 18" centres for the purpose of fixing laths.

J O I N E R.

TIMBER. All timber for joinery shall be thoroughly well seasoned and cleanly dressed and sand-papered, and where not otherwise specified shall be selected heart red pine.

SHOW WINDOWS ETC. The frames of show windows shall be built with first quality Totara as shown in detail drawings, and they shall be secured in openings to plugs fixed in concrete at 18" centres, $\frac{3}{4}$ " quarter rounds shall be fixed under sills. The fillets to secure glass shall be fixed with bras screws at 12" centres. The show windows shall be glazed with $\frac{1}{4}$ " best British, polished, plate glass.

The shop door frames shall also be of Totara, solid rebated and properly put together. The styles and heads shall be of 4" x 4" and the transoms 4 x 3.

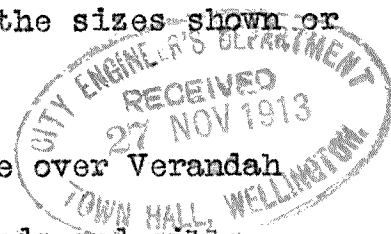
DOOR FRAMES ETC. The frame of side entrance door shall be built with styles, head and transom solid rebated out of 5" x 3" heart Totara. The styles shall have coach screws (4each side) screwed into the backs and built into walls.

The styles and head of frame in Roof House shall be solid rebated 2" stuff of ample width. The sill shall be out of 9"x 3" and the facings 6" x 1", the whole to be heart of Totara.

All door jambs shall be solid rebated out of 2" stuff and fixed true in openings with four packing pieces on each side.

WINDOW FRAMES. All window frames shall be of the sizes shown or marked and built with heart Totara.

The W. C. and Lavatory frames and those over Verandah shall have 5" x 3" solid rebated styles and heads and sills double sunk out of 5" x 4". All other frames shall be of the usual pulley type having sills double sunk out of 4" stuff, the styles and heads ploughed, pocketed, etc. out of 1" stuff and



fitted with best brass faced pulleys. The outside and inside facings shall be $\frac{3}{4}$ " and the outside ones shall be ploughed to receive Plasterer. The backs shall be lined with $\frac{3}{8}$ " rough boarding and divisions slips shall be fixed between weights.

DOORS. All doors to be in accordance with the attached schedule

Allow the sum of six pounds sterling (£6-0-0) for door furniture as selected.

SASHES. All sashes shall be 2" in thickness and built of Californian Redwood, and where not otherwise specified shall be glazed with 21 oz. "Thirds" quality British glass.

The W. C. and Lavatory sashes shall each be hung at side with 3" cast butt hinges and glazed with white Flemish glass. The Fanlight sashes over shop doors shall be of Totara and these with the Fanlight sash over side entrance door shall be hung at bottom with two three inch cast butt hinges. The sashes over Verandah shall be glazed with Luxfer or Pilkington's Patent prismatic glass and securely fixed in frames.

All other sashes shall be hung with $\frac{1}{4}$ " diameter crucible steel wire rope and suitable weights.

Allow the sum of Four pounds ten shillings (£4-10-0) for sash and fanlight furniture as selected.

STAIRS. The stairs shall be built to the widths and in the manner shown. The outside strings shall be 2" and the wall strings $1\frac{1}{2}$ ", and they shall be properly housed to receive treads and risers. The treads shall be $1\frac{1}{2}$ " rounded edged and ploughed to receive scotia, and the risers shall be 1". The treads and risers shall be properly blocked and wedged and secured to the strings. The outside strings shall have a capping piece run out of 4" x 2" and the wall strings shall have a quarter round bed mould in angle.

The newels shall be plain 5" x 5". The handrail shall be

run out of 4" x 4", and the balusters shall be 2" x 2" at 6" centres.

The soffit of stairs shall be properly prepared to receive lath and plaster, and shall be supported on 4" x 3" carriages.

ARCHITRAVES, SKIRTINGS ETC. Fix a 2" quarter round mould round all floors at the intersection with the walls.

All window and door openings shall have plain 5" x $\frac{3}{4}$ " architraves with the inside edge chamfered. The window architraves shall be supported on sill moulds run out of 4" x 2".

P L A S T E R E R.

All sand used shall be thoroughly clean and sharp and all cement shall be "Crown" "Golden Bay" or other approved brand of Portland.

OUTSIDE. All outside plastering shall be executed in two coats.

The first coat shall be $\frac{5}{8}$ " thick and consist of one cement to three sand, and the second coat shall be one cement to two silver sand.

Plaster all outside walls and the tops and backs of parapets, and reveals, etc. The existing party walls shall be plastered to the height of three feet above roof.

Run all cornices, sill moulds etc., and form all caps, panels etc. as shown.

INSIDE. All brick walls and piers inside the building shall be plastered with one $\frac{5}{8}$ " coat of one to three cement and sand plaster well trowelled to a smooth surface.

All ceilings including the false ceiling at shop recesses, and the soffits of stairs, also the stud partition walls, shall be lathed with Oregon pine laths and plastered with one full $\frac{1}{4}$ " coat of approved pulp plaster.

All the walls and ceilings on ground floor shall receive a finishing coat of Hydrated lime putty.

GENERAL. For floating of ground floor see "Concretor".

TILING. All tiles shall be laid by a competent tiler. Lay the two recesses at shop doors with a tile pattern as selected p. c. 16/- per square yard. The risers under Show Windows shall be tiled with tiles as selected p. c. 10/- per dozen (6" x 6").

P L U M B E R.

GUTTERS. The gutters on roof over stair well and flashing around brick walls shall be laid with four lbs. lead of ample width to go well up under roofing iron and behind apron piece at wall. The apron piece shall be of four lbs. lead built 3" into brickwork.

Other gutters to be formed with the roofing material.

DOWN PIPES. All down pipes shall be properly jointed 3" cast iron fitted with approved water-heads and well secured to the walls with iron lugs. Down pipes shall be placed in the several positions shown on drawings, and they shall discharge direct into drains or into verandah gutter as shown.

ROOFS ETC. The roof and stud walls over stair Well shall be covered with red edge felt well lapped and tacked and 24 gauge Galvanised corrugated roofing iron (first quality) Blackwall or approved well secured with lead head nails.

FLASHING. All flashing shall be of four lb. lead. Properly flash and step-flash at the intersections of stair well roof and iron walls with the brick walls. The verandah gutter shall have a four lb. lead apron piece for the full length. This shall be built 3" into the brick wall and at the windows it shall be continued under the sills and form trays. This apron piece shall be of ample width and well ^{lapped} ~~alpped~~ at joints.

Properly flash round the suspender rods where they go through roof of verandah, and wherever else required to make the building thoroughly watertight.

FITTINGS. Provide and fix the following as selected. Four W. C.

Pedestals with seats p. c. 35/-, each, and three Lavatory basins complete with taps, brackets etc. p. c. 50/- each.

The W. C.'s shall be fitted with approved cast iron cisterns fixed on proper brackets and being complete with $1\frac{1}{2}$ " lead flush pipes, chains, pulls etc.

WASTES. All wastes shall be properly trapped, ventilated etc. as required by City By-Laws. The Lavatory basin wastes shall be of $1\frac{1}{2}$ " screwed iron discharging into gully trap in Area, and the W. C. soil pipes shall be of properly jointed 4" cast iron.

WATER SUPPLY Lead a $\frac{3}{4}$ " main from the City Water Supply to the Area and up outside the walls to the roof where it shall be fitted with a high pressure brass tap having hose connection. Fix a similar tap over gully trap in Area. From this main lead $\frac{1}{2}$ " branches to the four W. C. cisterns and three Lavatory basins and properly connect to these fittings.

DRAINS. All drains shall be made with the best 4" salt glazed earthenware pipes laid true and properly cement jointed. Lay the drains as shown and properly connect with the sewers, and fix gully traps, buchan traps, main vents, etc. as shown. The drains under the building shall be encased in concrete as required.

GENERAL. Cover the floors of the two upstairs W. C.s with 5lb. lead well turned up at walls and over roll pieces at doors.

Fix 5lbs. lead apron pieces at outlets from roof to water-heads as required by the Asphalter.

P A I N T E R.

All Painter's material shall be brought on to the work in the original and unopened packages.

All paint work shall be executed in three coats, the first coat to be the best red lead and oil and other coats Hubbuck's or approved white lead and oil with colours added to give the required tints.

All painted work shall have the nail holes, cracks, crevice^s etc. properly stopped with oil putty after the priming coat has been applied.

All outside wood-work, down pipes, suspender rods, etc. shall be painted as above.

The Show Window frames and the Shop Doors etc. shall be properly filled and French polished.

All inside woodwork shall receive one coat oil, one coat spirits and one coat of Harland's or approved egg-shell varnish. All cracks, crevices etc. shall be properly stopped with coloured putty after the oil has been applied.

The iron walls and roof of Roof House shall receive two good coats of Hartman's Anti-corrosive paint.

F L A T R O O F.

The Flat Roof shall be covered with 1" Limmer, Trinidad or Neuchatel Patent Asphalt laid on scrim or hessian and turned up and well set into parapets. The shallow gutters, outlets, etc, shall be formed as required. The whole of this work shall be carried out by men employed by the Agent for the Asphalt.

VERANDAH ROOF.

The verandah roof shall be covered with three ply Genasco or other approved ready roofing. The ready roofing shall be cemented and tacked at 9" centres along joints with special tacks supplied by the Agents, and it shall be fixed at outer edge of verandah with a wood fillet nailed down to cover board.

At the wall side the roofing shall be formed into the gutter and well turned up under the lead apron piece. A warm day shall be chosen for laying this roofing and it shall be exposed to the sun for several hours before being fixed.

ELECTRIC LIGHTING.

Allow the sum of sixty pounds sterling (£60/-/-) for an Electric Lighting system.

GENERAL.

Cover the Area with concrete as for Ground floor and grade same to gully trap.

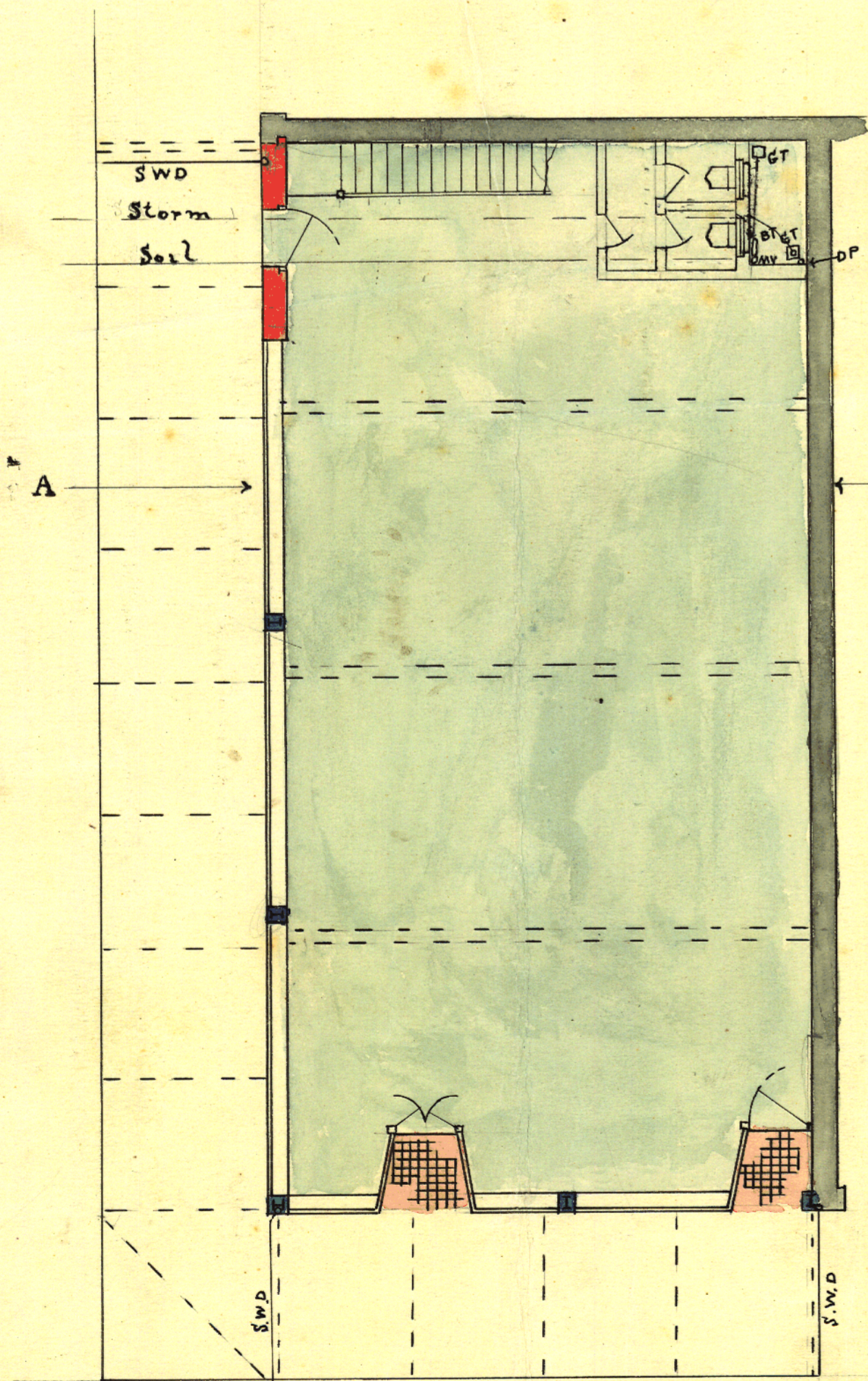
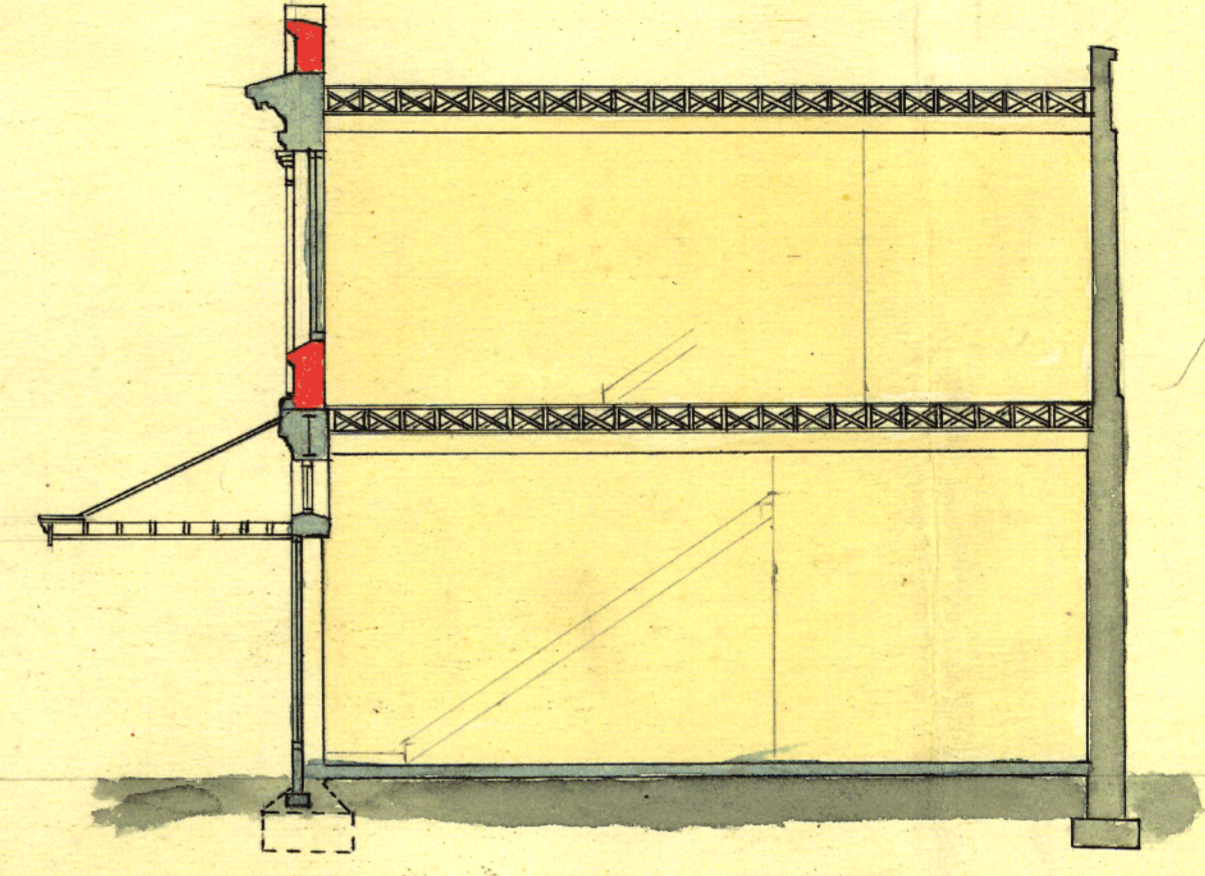
On completion all rubbish which may have accumulated during the progress of the Contract shall be cleared away and the whole of the premises shall be left clean and sanitary.

PROPOSED BUILDING IN CUBA STREET

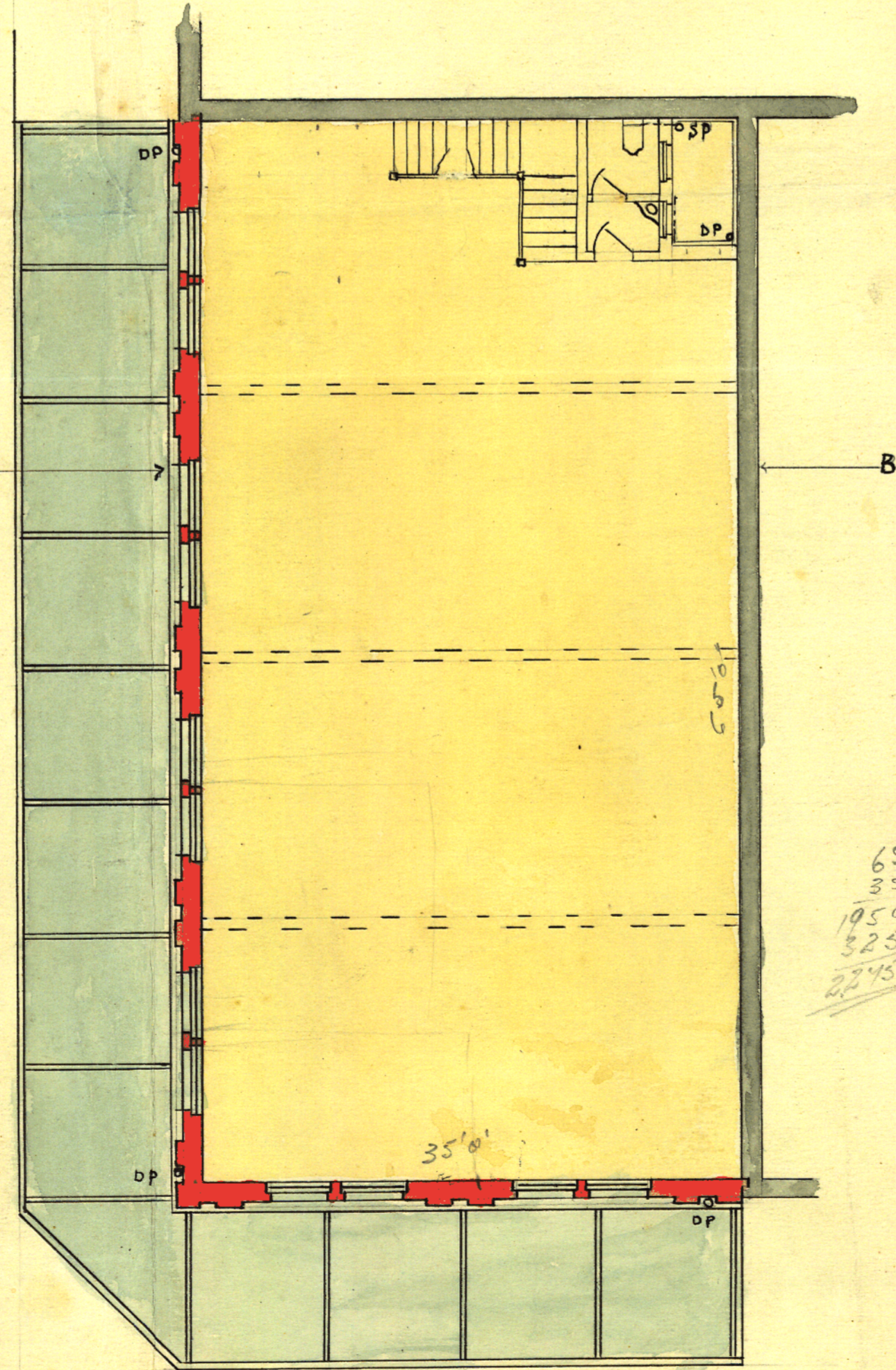
FOR MESSRS MOULT AND GEORGETTI

SCALE 8 FEET TO AN INCH

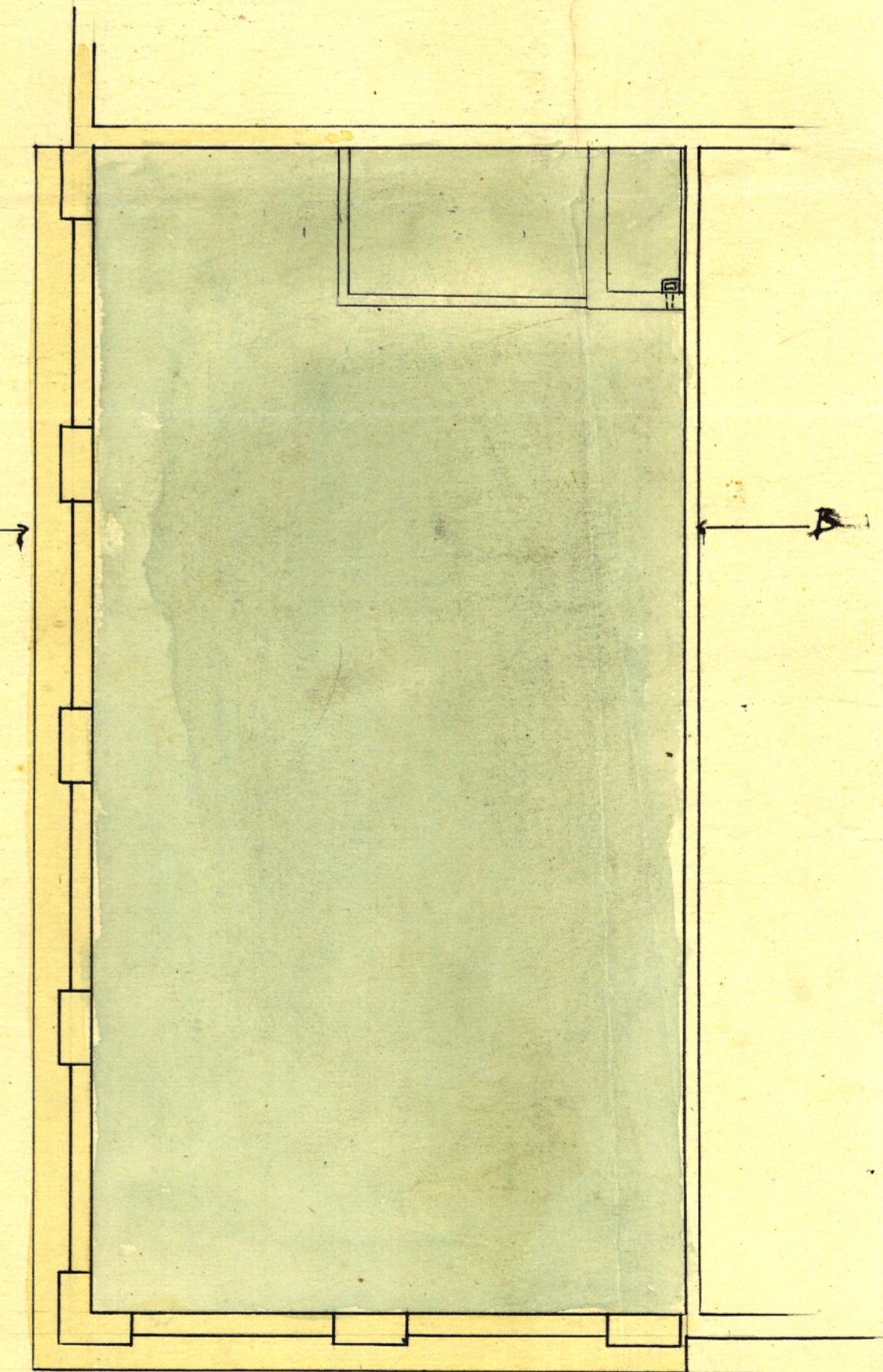
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CITY ENGINEER'S DEPARTMENT
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27 NOV 1913
TOWN HALL, WELLINGTON



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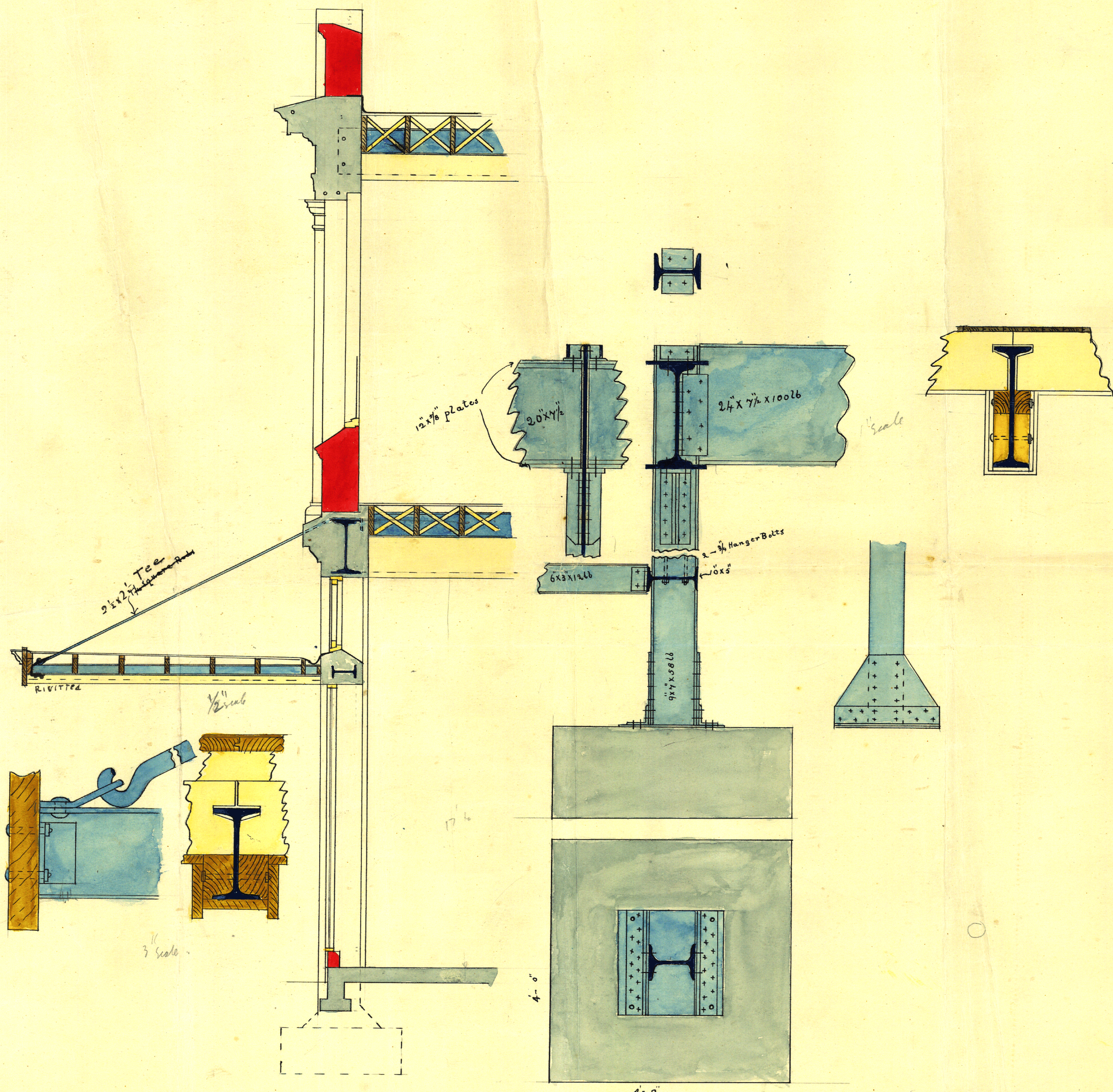


WELLINGTON CITY COUNCIL
CITY ENGINEER'S
OFFICE.
PERMIT MAY BE ISSUED
Deposit...
Water...
Date 22.12.13
BUILDING SUPERINTENDENT

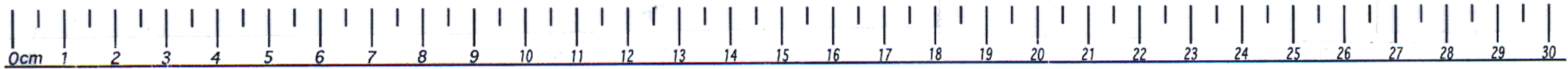
GROUND FLOOR PLAN

FIRST FLOOR PLAN

ROOF PLAN



CITY ENGINEER'S DEPARTMENT
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 TOWN HALL, WELLINGTON.



DESKTOP IMAGING LTD
Quality Imaging Technology

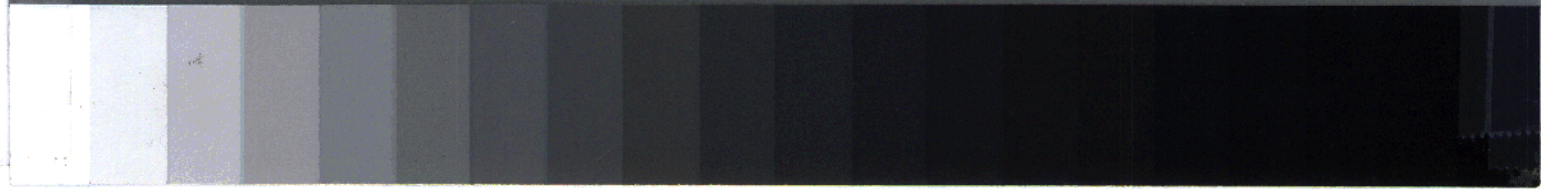


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KODAK Gray Scale


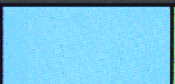
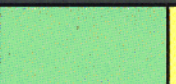





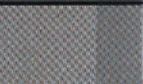

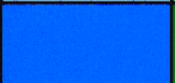
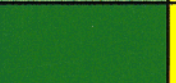

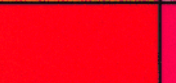
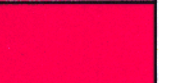



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Inches 1 2 3 4 5 6 7 8
Centimetres 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19

KODAK Color Control Patches © Eastman Kodak Company, 1997 

| Blue | Cyan | Green | Yellow | Red | Magenta | White | 3/Color | Black |
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