

SPECIFICATION

of the various works required in the erection and completion of new

"EVENING POST" BUILDINGS

fronting Willis Street, Wellington, and on Pt. Town Acre 507; for ~~MESSRS. HINDALL BROS. LTD.~~

W. FIELDING, L.R.I.B.A., F.N.Z.I.A.,
Registered Architect,

84 Willis Street, WELLINGTON.

January 1927.



GENERAL.

1. Forms of Tender will be supplied and tenders, accompanied by deposits, must be handed in to the Architect or posted so as to arrive at his office not later than noon on the 12th day of March 1927.
11 a.m.
2. The successful tenderer will be required to sign the usual Contract Agreement embodying the General Conditions agreed to between the N. Z. Institute of Architects and the N. Z. Builders' and Contractors' Association.

SCHEDULE OF QUANTITIES. Each intending tenderer will be furnished with a "schedule of quantities". These schedules are issued in good faith as representing the amounts of work to be executed under the contract but the Contractor must satisfy himself as to their accuracy before he puts in his tender as no extra will be allowed should they prove to be inaccurate and to his disadvantage. A copy of this schedule must be completely priced and deposited with the architect by the successful tenderer before the contract is signed.

The prices in the schedule shall in total agree with the lump sum which it is intended shall form the basis of the contract and known in the agreement as the "Contract Sum".

Should extra work be ordered the prices mentioned in the Schedule of Quantities shall be taken as a basis upon which the value of the work shall be computed and the amount or amounts so arrived at by the Architect plus the cost of adjustment shall be added to the Contract Sum and shall in all respects be treated as part of same. Should work be omitted it shall be valued according to the Schedule prices and the amount or amounts so arrived at less the cost of the adjustment shall be deducted in full from the Contract Sum.

Extra work of a class not provided for in the plans, Specifications or Schedule of Quantities shall at the written request of the Architect be carried out by the Contractor and if a price for such work cannot be mutually agreed upon before its commencement the Contractor shall be paid for such work on a basis of nett cost plus 10 per cent., no further profit being allowed. Should the carrying out of such work entail the erection of new scaffolding the time spent on such erection shall be deemed to be part of the nett cost but if the scaffolding already in place can be used then no charge shall be made, it being taken that the 10 per cent. covers the use of plant and materials of like nature.

4. THE CONTRACT COMPRISES, BRIEFLY, -

- A. The demolition of the existing buildings and foundations encumbering the site and the carting away and disposal of all materials in connection with same.
- B. The erection of the new building, the steelwork for which has already been bought by the Proprietors. The Contractor, in tendering, must allow for taking delivery of same and all fabrication and erection of the steel frame, etc.

5. The Proprietors have made arrangements for the temporary carrying on of their business in the premises immediately to the South of the site and in their own premises at the rear but it is expected that they can have possession of any floor or portion of a floor in the new building when, in the opinion of the Architect, it is suitable for occupation even though minor finishing work may still remain to be done. It is particularly desirable that the Ground Floor shall be rendered available for occupation at the earliest possible date.

6. A vacant section of land at the rear of the site, fronting Bouloett St., and belonging to the Proprietors could be leased to the Contractor for the storage of materials, etc., during the period of the contract.
7. **INDEMNITY.** Before commencing the work the Contractor shall, at his own expense, effect a policy of insurance in an office and for an amount to be approved by the Architect, to cover compensation to workers employed by the Contractor or Sub-contractors in case of accident or death.
8. **INSURANCE.** The Contractor shall insure the works and keep them insured against loss or damage by fire, until they are delivered up, in an office and for an amount to be approved by the Architect.
9. **MATERIALS.** All materials supplied by the Contractor or Sub-contractors shall be of the best quality and description of their respective kinds, free from any and every defect and to be approved by the Architect before being used. The Architect shall be the sole judge of their suitability and fitness for which it is intended they shall be used.
10. In this specification and also on the drawings and in the schedule of quantities each and every class, item, detail or particular of work indicated or implied shall, unless specially and distinctly otherwise stated mean and include the providing, furnishing, fixing and finishing the same complete and perfect in every detail and respect with and including all appurtenances.
Anything mentioned in the specification or schedule but not shown on the drawings or shown on the drawings but not mentioned in the specification or schedule must be done as if shown or mentioned in each and it must be distinctly understood that no extras will be allowed for the performance of any small detail considered necessary in the opinion of the Architect for the due and proper completion of the building according to the true intent and meaning of the drawings, specifications and schedule.
11. All **ALLOWANCES** or **PROVISIONAL AMOUNTS** specified are to be at the absolute disposal of the Architect and may be deducted in whole or in part on completion if not required.
12. Before any extra work, or work of an altered value or class is undertaken by the Contractor or any of his sub-contractors it shall be imperative that an order in writing shall be procured from the Architect for carrying on such extra or variation in work and it must be distinctly understood that no claim can be recognised unless it can be shown that the same has been ordered in writing.

13. The Contractor must properly shore and underpin or otherwise protect (to the approval of the Architect and City Engineer) the walls, foundations, fences, footpaths, etc., of the adjoining properties and streets and he will be held responsible for damage to any person, place or thing during the progress of the works.
14. Provide all temporary hoardings, etc., lights by night, watchmen, temporary water supply and lighting, etc., for building purposes, all in accordance with City Council requirements and to the satisfaction of the Architect.
15. Pay all fees, etc., required for permits, etc., and give all notices.
16. CLERK OF WORKS' OFFICE. The Contractor must provide and erect where directed a suitable office, size not less than 9' 0" x 7' 0", fit ted with large window made to open and door with Yale lock, etc., and all made dust and water proof. Provide and fit up a desk with drawer for plans, etc., all to the Architect's approval.
17. The Contractor must provide suitable sheds for the storage of cement and other building materials.
18. Provide and erect a Notice Board at the front of the building, size about 6' 0" x 4' 6" and include for all painting and signwriting on same to details.
19. NOTE. - The Boys' Latrines recently erected in the back area will be reserved for the use of workmen employed on the job.
20. At the completion of the works and from time to time as may be directed, remove all rubbish, scrub all floors, clean all walls, glass, etc., and generally leave the building and site in a neat and tidy condition and ready for occupation.
21. NOTE. - It is imperative that a thoroughfare shall be maintained between the hours of 2 and 5 p.m. each week-day for the transmission of papers from the Printing House to the trams in Willis Street.
22. The Contractor must erect and maintain a hoarding not more than 6' 0" from the back of the new building with gates as directed. This is to prevent access to the site from the yard and to protect pedestrians ~~there~~ passing through the yard.

EXCAVATOR.

NOTE, - Before tendering the Contractor should peruse all the general clauses of this specification.

Excavate for the foundations of all walls, piers, columns, stanchions, etc., to the depths and widths shown on the drawings.

Where existing foundations are considered by the Architect to be suitable for re-use the same may be left in subject to a deduction from the contract in this trade equal to the cost of taking them out and carting away.

The depths of trenches for all footings in all cases must be not less than the depths of any such footings and to be taken out level and stepped if required.

Remove all loose soil, etc., from bottom of trenches and well ram same with a heavy iron rammer immediately before laying concrete.

Any water accumulating in trenches or other excavations must be pumped or bailed out prior to laying concrete, etc. Concrete must in all cases be laid in dry trenches or boxings.

The trenches must be made wide enough to allow of temporary boxing being fixed and the bottom of trenches must always be level.

Fill in and well ram round foundations, footings, etc., after laying.

All surplus soil, etc., from the foundations and other excavations must be removed from the site immediately and carted away to tip, only sufficient being retained to fill up round foundations and under floors, etc.

Remove all old drains, etc., which are not required for future use. Special care must be taken to protect the drains and other pipes, inspection chambers, etc., carrying drainage from and water, etc., to the buildings at the rear.

In excavating the Contractor must allow for all shoring, propping, etc., to existing and adjoining walls, earth, etc.

The Contractor must make good any damage done to footpaths, yard surfaces, etc.

CONCRETOR.

MATERIALS.

The CEMENT used throughout to be N. Z. "Portland" cement of approved quality and manufacture and equal in all respects to British Standard Specification. It shall be tested by the Contractor for quality as directed and in the presence of the Architect and Clerk of Works. Its specific gravity shall be not less than 3.08 and it shall be sufficiently fine to pass through a sieve of 900 meshes to the sq. inch made of No. 37 B.W.G., and leave no more than 8 per cent. residue on a sieve made of No. 39 B.W.G. with 2500 meshes to the square inch.

It shall be capable of bearing a strain of at least 300 lbs. per sq. inch on a seven days' old briquette which has been set for 24 hours in moist air and six days in water. Also when gauged with three parts sand to one of cement by weight, briquettes after being set in air and water as above specified shall bear without fracture a tensile stress of 110 lbs. per sq. inch at seven days after gauging and 180 lbs. per sq. inch after 28 days.

For the purposes of measurement 1 cube foot of cement is taken to represent 90 lbs.

SAND to be clean, sharp, freshwater sand to approval and free from loam, clay or vegetable matter and to be washed if required.

AGGREGATE to consist of clean, natural shingle from an approved source, free from all clay, dirt or vegetable matter and properly screened and graded from $\frac{1}{2}$ " to $\frac{3}{4}$ " and shall have added to it sand as above specified in sufficient quantities to fill up all voids in the shingle but not to increase the bulk.

CONCRETE generally unless otherwise specified shall be composed of FIVE PARTS SHINGLE as above specified with a sufficiency of SAND as above and ONE PART CEMENT. For the purposes of measurement six and two thirds cubic feet of Aggregate to one bag of Cement.

MIXING.

Material for concrete must be mixed in an approved machine mixer run by electric power under the control of a competent engineer who will demonstrate the operations of the machine when called upon to do so by the Architect or Clerk of Works. Water must be added from the Corporation main to an automatic tank on the machine and sufficient must be used to thoroughly moisten the whole of the concrete so that when the concrete is held in suspension there will be no signs of disintegration of the various materials.

COKE BRUISE CONCRETE for Block Partitions to consist of FIVE PARTS CLEAN COKE BRUISE thoroughly screened and all dust removed as well as all particles over $\frac{1}{4}$ " in any one dimension. SAND to be added as above specified for ordinary concrete and ONE PART PORTLAND CEMENT. Care must be taken that the bruse is free from sulphur.

For the purposes of measurement six and two thirds cubic feet of aggregate to one bag of cement.

TIMBER BOXING, ETC.

The timber for sheeting or shuttering may be of either Kauri, Oregon or ~~White Pine~~ boards and all scantlings out of Kauri, Oregon or O.B.Rimu.

Provide and fix all necessary boxing, centering, sheeting or shuttering, stays, props, etc., to keep the concrete perfectly rigid until thoroughly set, the same being formed of 1" and thicker boards as required, carefully planed on face and edges to true and even surfaces, clamped together and secured with battens, etc., to approval. Also provide and fix all necessary scaffolding, cleats and wedges, etc., and all galvanised wire and bolts etc., required.

All boxing, etc., must be true to line and sufficiently braced and strutted to be free from measurable deflection when men are working upon it and when carrying the load of concrete which is to be placed upon it.

All open seams or joints must be properly stopped to prevent the leakage of liquid cement.

A slight camber of $\frac{1}{4}$ " to every 10' 0" of span shall be given to all beams, etc.

Centering or boxing must not be removed until the Clerk of Works has given his consent.

REINFORCEMENT.

The reinforcement throughout (except to floors and where otherwise specified) to be of plain round steel bars of approved British Manufacture and equal to the British Standard Specification. They must be bent cold to the shapes shown on details and no welding will be allowed. All bars must be free from rust, scale, dirt or oily matter.

The reinforcement for all floor slabs that are reinforced, roof slabs, stair slabs and landings will be B. R. C. FABRIC and will be supplied to the Contractor by the Wellington Agents for the Australian Reinforced Concrete Engineering Co., Ltd., at the sum mentioned in the Schedule of Quantities. It must be laid according to special plans and details which will be supplied.

Include for Est 16 E. W. G. galvd. tying wire to all reinforcement.

PLACING OF REINFORCEMENT, ETC.

All the steel bars and B.R.C. Fabric must be placed in the exact positions shown on the drawings and as directed and great care must be taken that they are not displaced during the process of packing the concrete round them. Where for unavoidable reasons it is necessary to stop the concreting work care must be taken to place in position (before the concrete is put over them) all the reinforcement which may project from a succeeding portion of the work into that which is being done.

As far as possible the mixture of concrete must always be brought to the same degree of wetness.

Care must be taken to ascertain by experiment that the proportion of sand is at least enough to fill the interstices in the coarse aggregate and the proportion of sand specified above must be considered liable to alteration but in all cases the amount of cement must be at least half that of the sand.

Before any concrete is put into position a careful inspection must be made to ascertain that no dirt, shavings loose stones, etc., have been allowed to remain in the boxings, etc., and the woodwork should be then well watered to avoid the danger of its sucking up too much moisture.

After mixing the concrete must be immediately deposited in trenches or boxings in layers and lightly rammed.

All concrete shall be placed in its final position in the work as soon as possible after mixing. In no case must more than half an hour elapse before this is done.

Trenches must be boxed in before any concrete work is done so as to allow rather more than the full dimensions shown on the drawings.

The concrete must be placed gently in position and must not be tipped from a great height. It must then be thoroughly worked into position, great care being taken to ensure that the steel bars are thoroughly surrounded by liquid concrete and that no voids or cavities are left.

It must be sufficiently tamped with chisel-edged tools to ensure its entirely surrounding all structural steelwork and reinforcement and filling all voids. Any concrete showing a honey-combed effect will be rejected.

RENDERING TO CONCRETE FLOOR SURFACES. All floor surfaces (except where specified to be tiled, etc.,) are to receive a $\frac{1}{2}$ " thick coat of cement mortar consisting of 1 part cement to 2 parts clean sharp sand and trowelled with a steel trowel to a smooth finish. All these floor surfaces must be kept moist by the laying on of wetted bags so that the surfaces of the concrete will dry out simultaneously with the main body.

GRANITE WORK.

The whole of the lower front elevation facing Willis Street and returns to two corner piers, from pavement level to first floor (about 20' 0" in height) will be faced with Aberdeen red granite of best quality.

All stones will be laid on their natural beds and must be free from all shakes or other imperfections.

The price for all granite work to include the supply and delivery of the raw stone to the job, the working of all plain beds and joints, the back-jointing of all stones to the sectional thickness shown on details so as to ensure the proper bonding of each course with the concrete backing, the cutting of all stones wherever required around piers and beams, etc., all the required joggle joints and Lewis holes, the hoisting of the finished stone into position, the solid bedding and jointing of all granite work in cement mortar consisting of 3 parts clean, sharp, Butt River sand to 1 part Portland cement as specified in "CONTRACTOR".

No bed or joint to exceed $\frac{1}{2}$ " in thickness or width and each bed and joint to be pointed with old putty softened with water as the work proceeds. This putty to extend $\frac{1}{2}$ " in from the face of the stones and to be bedded in before the stone is laid. The surplus putty will then be cut off and the joints neatly pointed.

All beds and joints to be rubbed for a distance of 1" inwards from the external faces of the stones and any damaged granite work which may show up during the period of the contract must be taken out and made good at the Contractor's expense.

Clean down the whole of this work on completion with diluted Spirits of Salts or Muriatic Acid.

Exposed surfaces of all granite work must be finished to a highly polished surface and all moldings, ornament and carving must be run and cut exactly to detail.

TERRA - COTTA .

The Front Elevation (from First Floor level upwards) and portion of Side or "Return" elevations, also walls of Light Area, etc., as indicated on drawings will be faced with VITREOUS GLAZED TERRA-COTTA of best quality and manufacture from the works of "BURMANTOFT'S", LEES FIRECLAY CO., England.

It shall be well burnt, true to line and detail, free from crazings, blotches and blemishes and finished to the different tints as chosen by the Architect.

The Contractor will take delivery and fix same on the job as shown on the manufacturers' drawings.

It shall be bedded, jointed and pointed with cement mortar and cleaned down thoroughly on completion.

Any damaged terra-cotta work which may appear during the tenure of the contract period must be taken out and replaced and made good at the Contractor's expense.

All the fixing must be done by competent men and all blocks must be filled with concrete (as specified in "CONCRETOR").

Provide and fix all steel bars and galvd. wrot. iron ties so as to secure the facing to the concrete backing with the maximum amount of strength and stability.

M A R B L E .

All marbles to be the best of their respective kinds, free from all shakes and other imperfections.

All floor work and stair treads to be finished to a fine sand-rubbed finish. All other work, with the exception of carved work to be finished with a high polish.

The price in Schedule of quantities for all marble must include the supplying of the stone, labour and power in working, the bedding and fixing of same in Plaster of Paris or cement mortar and all copper wire dowels and cramps.

The price must also include the cleaning down of all marble work with "Dutch Cleanser" and the pointing up of all joints, etc., with Plaster of Paris.

Steps and floor work will be bedded on a $\frac{3}{4}$ " thick bed of Portland cement mortar (2 to 1) thoroughly floated to true surface.

The various marbles to be used are as follows, -

Stair treads, 2" thick white Sicilian marble.
Skirtings and stair strings, Verdes des Alpes, 1" thick.
Wall dados, "Paonazzo" marble, $\frac{1}{2}$ " thick.
Door trim and other bands, Verdes des Alpes, 1" thick.

JOINTING. All jointing to be done in such a manner that the stones will fit tightly against each other. No bed or joint to exceed $\frac{1}{32}$ " in thickness or width.

QUICK CORNERS. All external angles are to be finished in the following manner, - The small returns shown are to be polished and the slabs mitred as shown:-



FIXING OF MARBLE to be performed in the following manner, - All floor marble, including stair treads, to be bedded and jointed in cement mortar consisting of two parts clean, sharp freshwater sand and one part Portland cement. All wall work including stair risers and strings will be fixed to the walls in the following manner, - Secret cramp holes will be drilled in the joints and beds of the stones to receive the copper wire cramps made of No. 8 gauge copper wire or old heavy telephone wire with the ^{insulation} burned out of it by an ordinary fire. Holes will also be drilled in the concrete backing to receive these cramps, and when all is ready for fixing the slabs into position, a mixing of Plaster of Paris will be applied to each of these fixings and the slabs gradually pressed into position to a proper alignment. No grouting of cement mortar or other material will be required as backing to the wall work.

Price for fixing to include all the foregoing and the cleaning down of all work on completion with "Dutch Cleanser".

MARBLE (Continued).

MATCHING. Great care must be taken in the selection of the marbles so that the veinings and markings of the marble will be continuous from slab to slab, thereby following out the design and general extent described by the Architect. No veining of broken or skipped marbles will be allowed.

Details will be given for the spacing and general lay-out of all marble work.

PLASTERER.

OUTSIDE WORK.

Stucco for outside plastering to be in two coats $\frac{1}{2}$ " thick over all. First coat to be $\frac{3}{8}$ " thick and composed of 3 to 1 cement mortar with the admixture of 5 lbs. "Pulite" water-proofing powder to every 100 lbs. of cement and according to manufacturers' instructions. Setting coat to be $\frac{1}{8}$ " thick composed of equal parts of "Medusa" white cement and Silver Sand and all trowelled with a steel trowel to a smooth and even surface.

Render and set the tops and backs of all parapet walls showing above roofs, also the walls of stair enclosure and motor house above roof, the whole of the external surfaces of back and side walls where not otherwise faced with terracotta or granite. All concrete surfaces must be well roughened to form a key for the rendering coat and all surfaces are to be well wetted before the application of first coat.

Whilst the rendering coat is still soft it is to be well scratched to form key for setting coat and the surface of rendering coat to be well wetted before the application of the setting coat.

Run all projections, form all angles, throatings, sunk bands, corbels and weathered sills, etc., as shown.

Point up neatly round all steel windows, ventilators, pipes, etc., coming thro' walls and wherever else required with cement compe as directed.

Patch where required and make good generally to the satisfaction of the Architect.

INSIDE WORK.

All exposed faces of walls, piers, beams, ceilings, soffits of stairs, etc., not otherwise specified to be faced with wood panelling, tiles or marble are to be rendered and set in the following manner, - All concrete surfaces will be well roughened to form key for rendering coat and all surfaces will be well wetted before the application of the rendering coat which will be $\frac{1}{2}$ " thick and composed as follows, - 1 part "Victorite No. 2" and 3 parts clean, sharp freshwater sand. Before this coat is thoroughly dry thoroughly scratch same to form key for setting coat and well wet same just prior to the application of the setting coat which will be $\frac{1}{8}$ " thick and consisting of neat "Victorite No. 1" cement trowelled with a steel trowel to a glazed finish.

Form all angles, skirtings, molded and panelled soffits to beams, etc., bullnoses, etc., as shown and required.

FIBROUS PLASTER .

All fibrous plaster work shall be made from the best of materials known for this class of work and shall be set true to details and models and erected in a thoroughly substantial manner and all jointing shall be completed in such a manner that it shall show a continuity of the work without the joints showing.

The price for all fibrous work must include all furring and grounds of Ht. Tetara for fixing.

To all beams and walls where shown on Ground Floor supply and fix fibrous plaster cornice to details.

To all beams and walls of the three offices and Board Room on First Floor provide and fix fibrous plaster cornice to details.

To all beams and walls of Lounge and Dining Room on Sixth Floor provide and fix fibrous plaster cornice to details.

All plastered surfaces are to be left perfectly smooth and ready for paint.

Do all patching and making good after other trades, including patching round pipes, etc., of all descriptions coming through walls and ceilings and floors.

Maintain all work specified in this trade for a period of 90 days after completion.

T I L E S , E T C .

All wall tiles shall be 6" x 6" x $\frac{1}{2}$ " best quality white glazed tiles of "Durmontoff's" (Leeds Fireclay) manufacture with all the necessary coved skirting tiles, concave and convex tile angles at all internal and external angles and rounded tile cappings. All wall surfaces to be covered with tiles are to receive a cement rendering coat composed of 3 parts clean, sharp sand to 1 part Portland cement.

All tiles are to be well soaked in water before fixing and bedded with an neat mixture of Portland cement and finished true to line and detail and thoroughly cleaned down on completion.

All erased or damaged tiles will be removed at the Contractor's expense .

Allow for all labour cutting round all pipes and other obstructions.

Cover the walls of Cartway from ground or floor level to underside of beams with tiles as specified above and include for all labour cutting to rake, etc.

Cover the walls of all Lavatories, W.C's, Bathrooms and Kitchen to an height of 6' 0" above floor level and include for tile capping throughout.

The W.C. divisions and stiles, etc., are not to be tiled but are to be constructed as specified in schedule of quantities.

The floors of all W.C's, Lavatories, Bathroom, etc., are to be covered with Rubber Flooring p.c. value 40/- per suppl. yard.

Flooring to Ground Floor Public space and space behind counter to be covered with cork tiles as described in the Schedule of Quantities.

Flooring to First Floor front (3 offices, Board Rm., and Typists' Rm.) to be covered with "Battleship" linoleum as scheduled.

Thoroughly clean down all walls, floors, etc., on completion and maintain all tiling, etc., for 90 days after the completion of the building.

CARPENTER & JOINER.

All materials and workmanship in this trade must be of the best and no effort must be spared by the Contractor to render the buildings complete and perfect to the entire satisfaction of the Architect.

The Joiner's work is to be put into a state of general preparation as soon as the contract is signed, but not to be wedged and glued up until necessary.

Every facility must be granted at all times for the Architect and Clerk of Works to inspect the work where it is being prepared.

All timber must be specially and thoroughly well seasoned and to be clean and smoothly finished to approval.

All nails to be punched in where exposed to view and afterwards puttied.

All timbers shall be the best of their respective kinds and absolutely "all heart". Any timber showing signs of sap wood will be condemned. The timber throughout must be perfectly dry, thoroughly seasoned, sawn die square, free from sap, shakes, cracks, wavy edges, loose and dead knots or knots over $1\frac{1}{2}$ " diameter or any other defect.

All timber for joinery, etc., must be absolutely free from knots and must be specially selected.

All exposed surfaces shall be dressed and all joinery, panelling, etc., shall not only be hand-dressed but shall also be rubbed down and glass papered clean so that the plane and other marks will not show.

All joinery and moldings shall finish to the sizes scheduled and Carpenter work sizes shall be the sawn sizes.

The prices for all timber work shall include covering and protecting same from injury, the supplying of all necessary grounds, filllets, molds, templates, beads, finishings and fixings bricks where required at 24" centres, the securing of all door frames to concrete, terra-cotta or granite walls with $1\frac{1}{2}$ " x $\frac{3}{16}$ " galvanised iron ties 18" long and fixed at 24" centres with all bolts and coachscrews required to fix timbers to walls, etc.

All timbers in or near concrete, etc., to be of Ht. Totara free from all defects.

All Carpenter's work to be best quality finished and fixed in a workmanlike manner. All bolts shall be screwed with Whitworth's standard thread and bolt heads, nuts and washers are to bear such proportions to each other as shall be approved.

DOORS, ETC. (to detail).

All the doors on Front Elevation are to be of selected fine-grained oak of first quality timber and prepared for polish as directed.

Remaining outer doors (on back elevation) are to be of clean Ht. Totara free from all defects and prepared for paint .

The doors and joinery generally (see schedule) in front portion of Ground Floor are to be of selected Queensland Cedar.

Architraves, frames, etc., are to match doors and the sizes, etc., as scheduled.

The Counter, Counter front and Telephone Boxes in G.F. front Office are to be of Queensland Cedar of the sizes indicated in schedule and to detail.

The short stair leading from Ground Floor front Office up to Advertising Offices to be of Ht. Rimu with strings, treads, risers, handrail, etc., all as set forth in the schedule.

The panelling to screens and ceiling of the Van Kannel doors leading from Willis St., to G. Floor front office to be of Queensland Cedar or oak as scheduled and to detail with cornice, etc., as shown, and to details.

The panelling on walls of Board Room and 3 Offices, etc. on First Floor to be of Ht. Rimu to detail and as described in schedule.

The three telephone booths behind counter on Ground Floor [shown on Ground Floor Plan and Section A.B.] to be of Queensland Cedar panelling to detail, set of 2" stuff with panels moulded on outside and plain on inside with doors to match. The two division walls to have double panelling (without solids) with 2" cavity between same filled with approved sound deadening material.

Provide and fix 4" x $\frac{1}{2}$ " flooring as top or ceiling to the booths with an approved ventilator in each.

Provide and fix a 14" x $\frac{1}{2}$ " wrot shelf in each booth.

Include for cornices and ~~skirting~~, etc., to detail.

There will be no back or floor to these fixtures but include for fixing to wall and floor with scotias or beads as required. Each door to be hung on 1 pr. 4" butts to 2" solid rebated frame and fitted with an approved back spring.

PLUMBER, ETC.

FLASHINGS throughout to be of 5 lb. milled lead with aprons, cap flashings, etc., all wedged up and pointed with cement compe or neatly tacked down as directed.

DOWNPIPES for carrying away stormwater to be 3" dia., light section cast iron secured to walls with lead and gasket. R.V. Heads, bends and shoes, etc., to match downpipes. Domes over outlets to be of approved copper wire.

Overflows and sumps from main roof and sumps to hopper heads to be of 6 lb. lead with all labour. Sumps to Verandah gutter to be of 6 lb. lead with 3" dia., downpipes and copper wire domes. Include for all bends, etc., to downpipes and embedding in concrete walls where required.

Provide and fix 20 guage copper to circular arms of verandah brackets with ornamentation on front face to detail.

Cover the verandah with two layers of Huchatel roofing each $\frac{1}{2}$ " thick and as schedule. Form gutters and sump outlets, etc.

SANITARY FITTINGS.

The W.C.'s throughout to be Teyford's "Zonal" pattern, all white, with polished hardwood seat and cover to approval and nickel plated fittings, rubber steps, etc., complete. All the W.C.'s are to be fitted with Nelson's patent "HUSH" silent flushing apparatus with handles, etc., all nickel plated to approval.

The "single" lavatory bowls, 5 in number, to be No. 2/2 in Teyford's Catalogue, "Vitreous" finish, complete.

The "double" lavatory bowls (or range of two) 7 in number, to be No. 502/4, Teyford's catalogue, "Vitreous" finish, with overlaps, combined overflows, etc., complete.

The two-stalled Urinal ranges, 5 in number, to be No. 116 in Teyford's catalogue, complete with cisterns, sparge pipes, etc., complete to approval and to comply with City By-laws.

Urinals to have approved traps with brass gratings connected to 1½" lead waste pipes weighing 18 lbs. per yard and main waste pipes (where two or more converge) to be 2" and 24 lbs. per yard.

Wastes from lav. basins to be similar to above.

All joints in lead pipes shall be soldered or wiped joints and all made perfectly watertight.

The Bath on Sixth Floor to be of a p.c. value of \$15 including nickel-plated plug, waste and overflow, all to approval.

The sinks to be best quality white enamelled fireclay large size with approved plug, waste and overflow complete.

Provide and fix all required overflows and inspection caps to traps of 6 lb. lead with brass access screws.

WATER SUPPLY.

Cut off, seal and protect existing main and piping during demolition and lay on new branches from time to time as the work proceeds to all W.C. and Urinal cisterns, lav. basins, bath, sinks, etc., and standpipes.

Pipes to be well jointed in red lead and supplied with all necessary bands, elbows and connections, etc., and the Plumber must insert "sleeves" in boxing for reinforced concrete work, etc., as the work proceeds.

Stop taps generally to be brass but those to silent flushing apparatus to be nickel-plated.

All cisterns to be provided with approved regulating taps and copper balls made to discharge at bottom of cisterns.

Standpipes to have ½" ^{H.P.} ~~W.P.~~ bib cocks with screw nozzles and couplings for hose, also 1½" wastes, etc., as scheduled.

Supply tanks on roof to be as scheduled.

DRAINAGE.

Provide and lay stormwater drains as shown by blue lines on Drain Plan, those under building being in cast-iron piping with caulked joints with all necessary bends, junctions, cleaning eyes, etc., and connect existing drain in Cartway and under footpath to drain in Willis St.

Soil and waste drains to be as shown on Drain Plan and with 4" dia., heavy cast-iron pipes, etc., with all connections, etc., as required by City Bylaws and to the satisfaction of the Architect.

Give all notices, pay all fees, etc., and execute all Plumbing, Drainage, etc., to the satisfaction of the Architect and W'ton City Engineer.

GLAZIER.

The Show window in centre of G. Floor front to be glazed with $\frac{1}{2}$ " thick polished plate glass free from all defects.

The 5 windows over verandah to be glazed with pressed prism glass to approval.

The front windows generally and 4 windows on the top floor of side elevations to be glazed with $\frac{1}{2}$ " thick polished plate glass of approved British make.

Remaining windows on side elevations to be glazed with $\frac{1}{2}$ " thick wire clear plate. Two returns to light area also to be glazed as above.

All lavatory windows in light area to be glazed with approved white obscure glass.

All windows on back elevation as well as all borrowed lights and fanlights generally are to be glazed with pressed prism glass to approval.

The light between G.F. Office and Cartway to be glazed with "Luxfer" prism lights to approval.

All glazing must be carried out in compliance with Fire Underwriters' requirements and all glazing must be well sprigged, bedded and back puttied with red lead putty mixed with gold size to approval. Internal glazing to be fixed with steel angle fillets provided by window makers.

Make good all damaged square on completion. Leave all glass clean and watertight.

PAINTER, ETC.

Paint generally to be composed of best genuine white lead of Hubbuck's or other approved brand mixed and well ground with Moose brand linseed oil stained to approved tints.

For outside work white lead is to be mixed with half and half of raw and boiled linseed oil but for inside work only raw linseed oil is to be used.

Prime and paint 3 coats oil paint as above to all external wood and iron work generally including steel windows, fire escapes, Verandah brackets, bridge, ornamental standards, w.i. gates, grilles, etc., flagpole, cart guards, etc., etc., and all external doors and frames, etc.

The following internal work also to be painted as above, Borrowed lights and fanlights and inside of all steel windows, Strong Rm. doors, spiral stair, etc., and all ironwork showing in lavatories, etc.

All inside woodwork generally (except as specified above and as specified below to be polished) is to receive one coat knotting, one coat oil and one coat flattine, to finish eggshell gloss.

The following are to be French polished to approval, - Van Kamel doors, etc., panelling, etc., to counter front in C. Floor Office, telephone booths, wicket gate, etc., Main Entrance door, etc., and as scheduled.

Paint one coat approved distemper to the ceiling of Verandah and to all fibrous plaster cornices to C. Floor ceiling, etc.

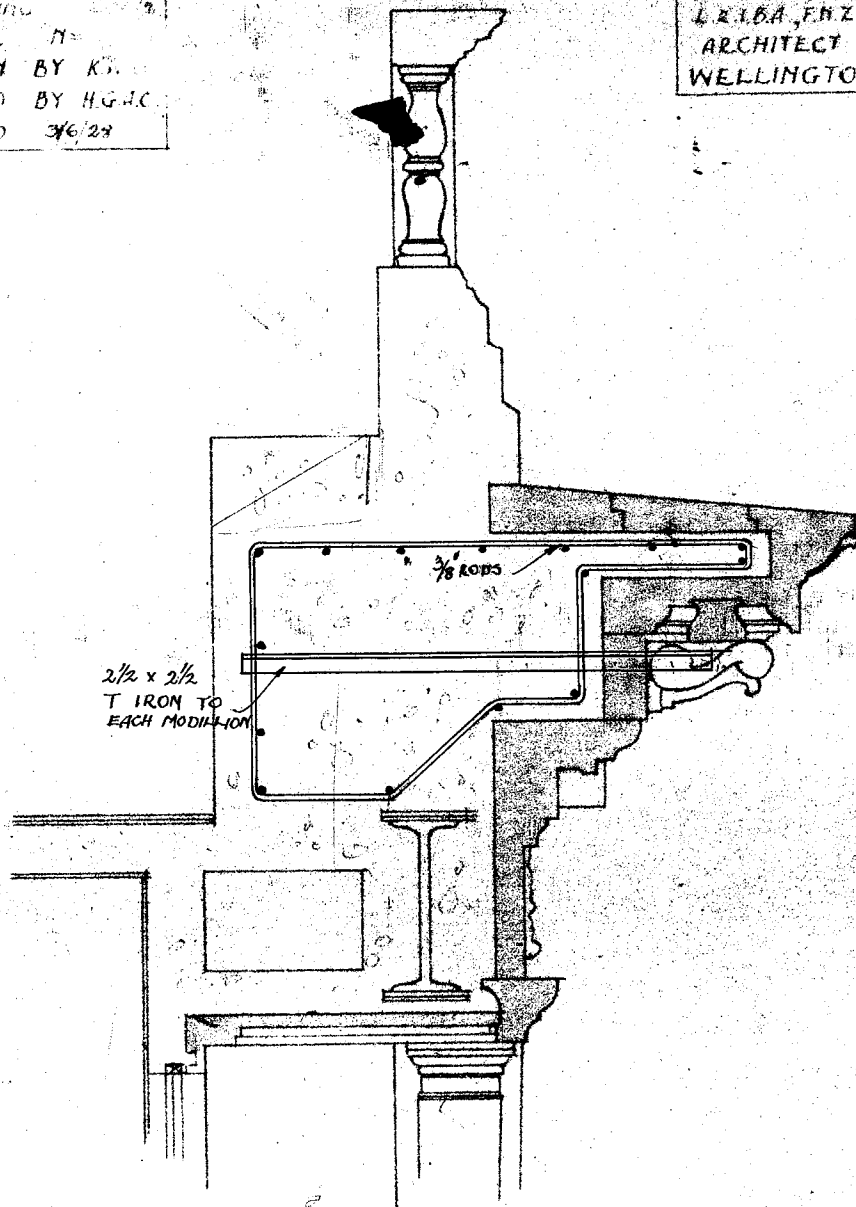
Make good all Painting, Oiling, Polishing, etc., on completion, leave same perfect and maintain same for 90 days after completion to the satisfaction of the Architect.

NEW EVENING POST BUILDING

WILLIS ST., WELLINGTON.

DRAWING NO. 9.
DETAIL M-
DRAWN BY K.S.
CHECKED BY H.G.A.C.
DATED 3/6/29

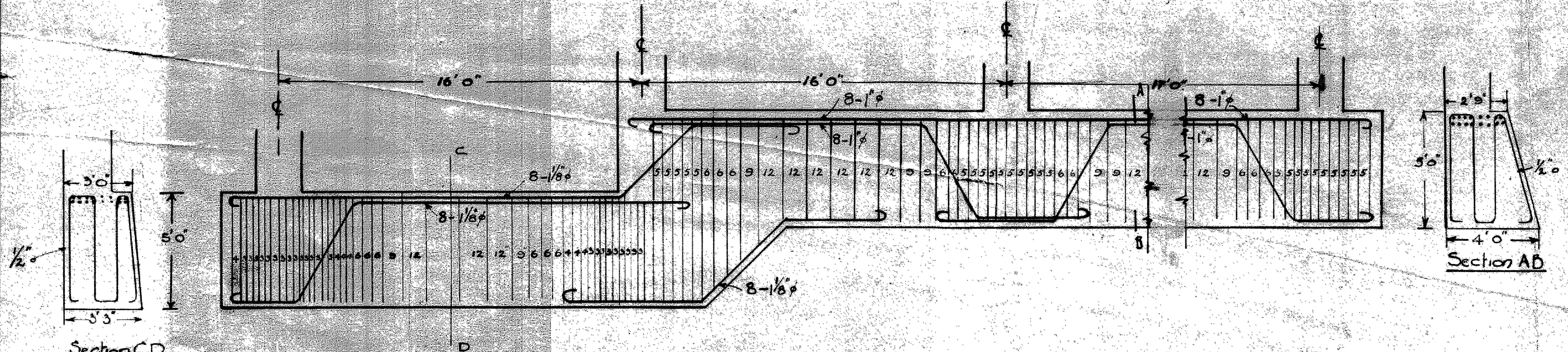
WILLIAM FIELDING
L.R.I.B.A., F.R.Z.I.A.
ARCHITECT
WELLINGTON.



1/2" DETAIL THRO. MAIN CORNICE.

EVENING POST BUILDINGS WILLIS ST, WELLINGTON FOR MESSRS. BLVNDSELL BROS., LTD.

A. R. C. ENG. CO.



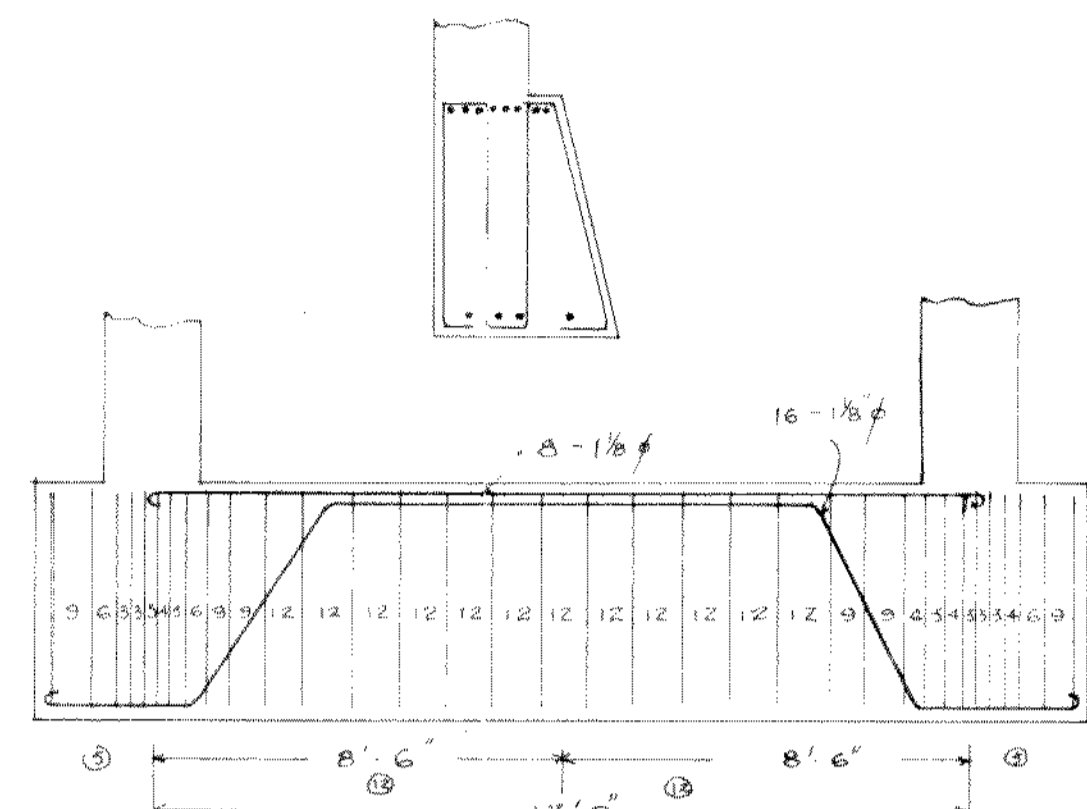
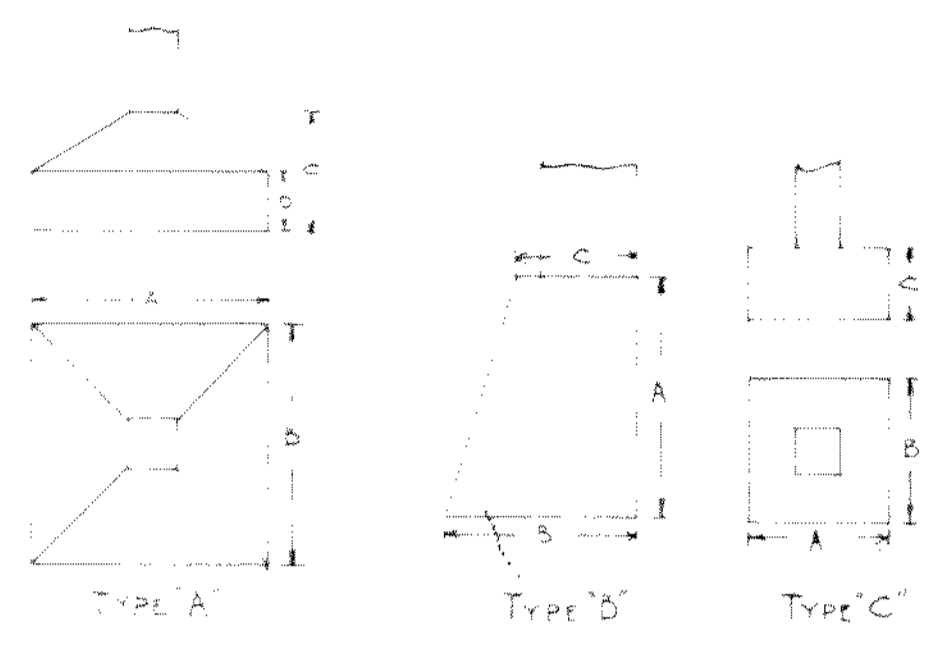
FOOTING FOR COLS. 11, 14, 17, 20.

SCALE 1/4" = 1 FOOT.

DRAWING No 106/2
SHEET No 13
DRAWN BY P.M.
TRACED BY H.G.A.C.
DATED 22/6/27

WILLIAM FIELDING
L.R.I.B.A., F.N.Z.I.A.
ARCHITECT
WELLINGTON.

NO.	A	B	C	D	REMARKS
1	4	6	2	1	12" x 12" concrete
2	4	6	2	1	12" x 12" concrete
3	4	6	2	1	12" x 12" concrete
4	4	6	2	1	12" x 12" concrete
5	4	6	2	1	12" x 12" concrete
6	4	6	2	1	12" x 12" concrete
7	4	6	2	1	12" x 12" concrete
8	4	6	2	1	12" x 12" concrete
9	4	6	2	1	12" x 12" concrete
10	4	6	2	1	12" x 12" concrete
11	4	6	2	1	12" x 12" concrete
12	4	6	2	1	12" x 12" concrete
13	4	6	2	1	12" x 12" concrete
14	4	6	2	1	12" x 12" concrete
15	4	6	2	1	12" x 12" concrete
16	4	6	2	1	12" x 12" concrete
17	4	6	2	1	12" x 12" concrete
18	4	6	2	1	12" x 12" concrete
19	4	6	2	1	12" x 12" concrete
20	4	6	2	1	12" x 12" concrete

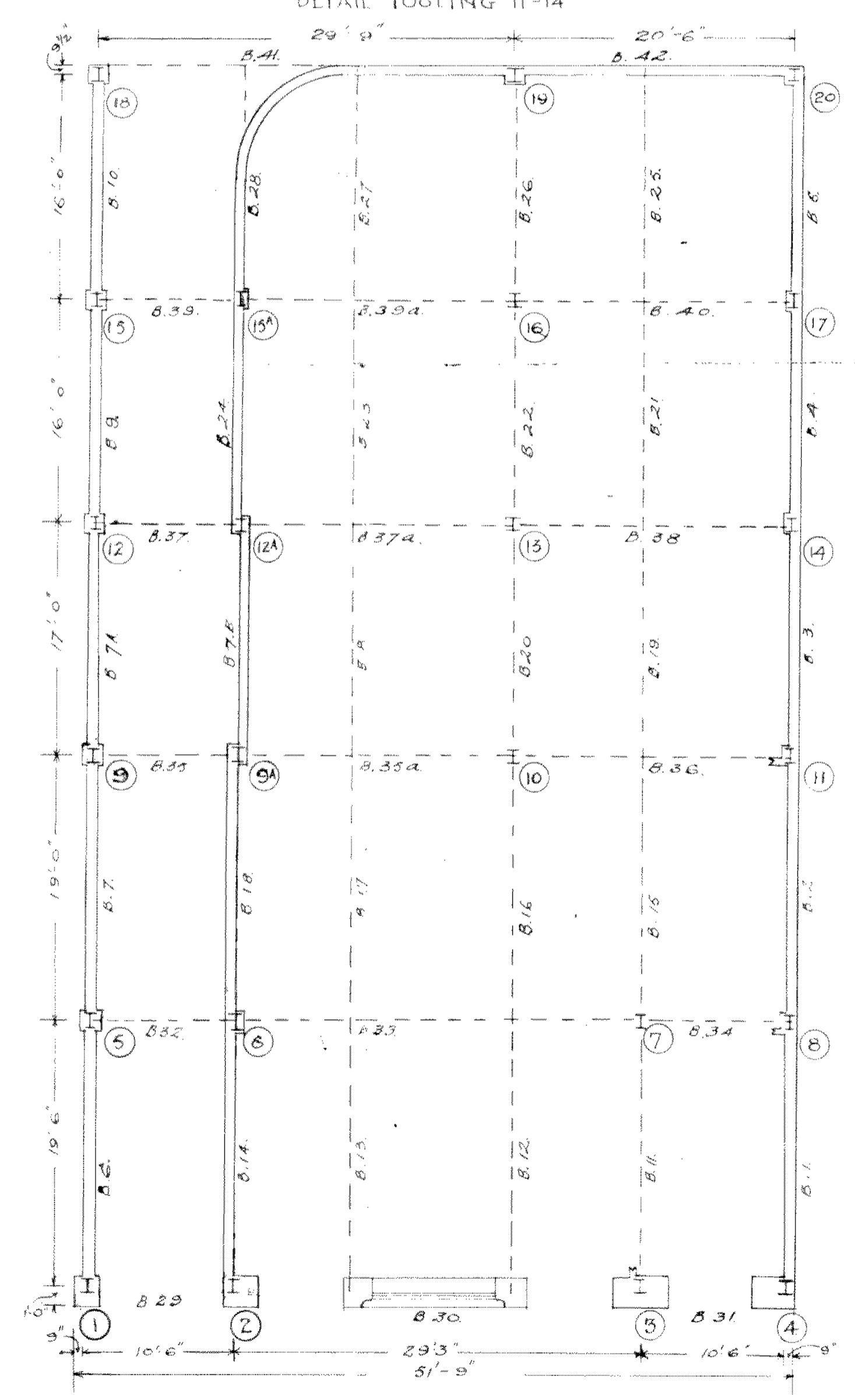
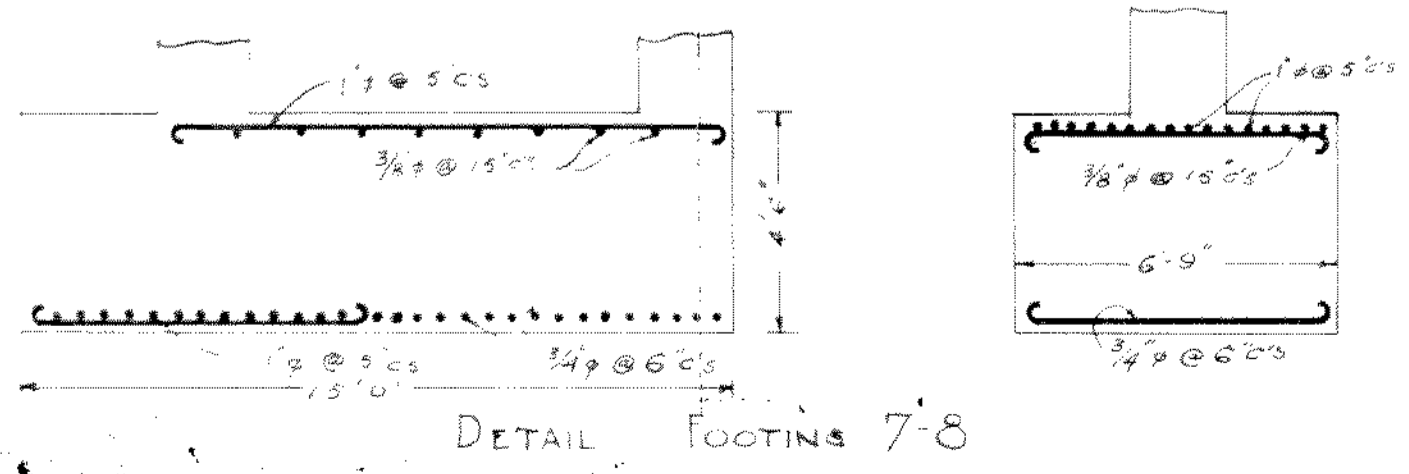
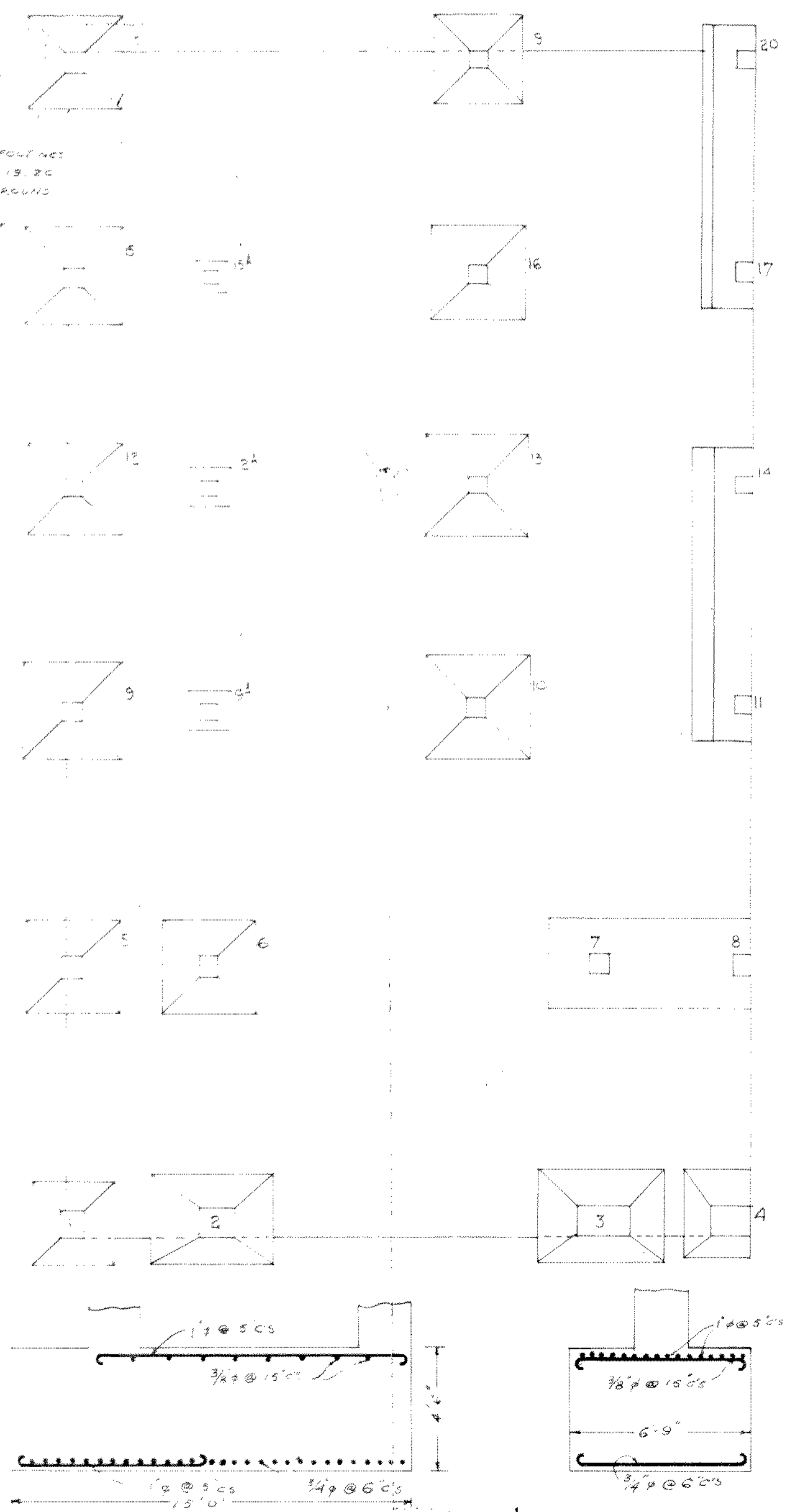


EVENING POST
BUILDINGS
WILLIS ST. WELLINGTON

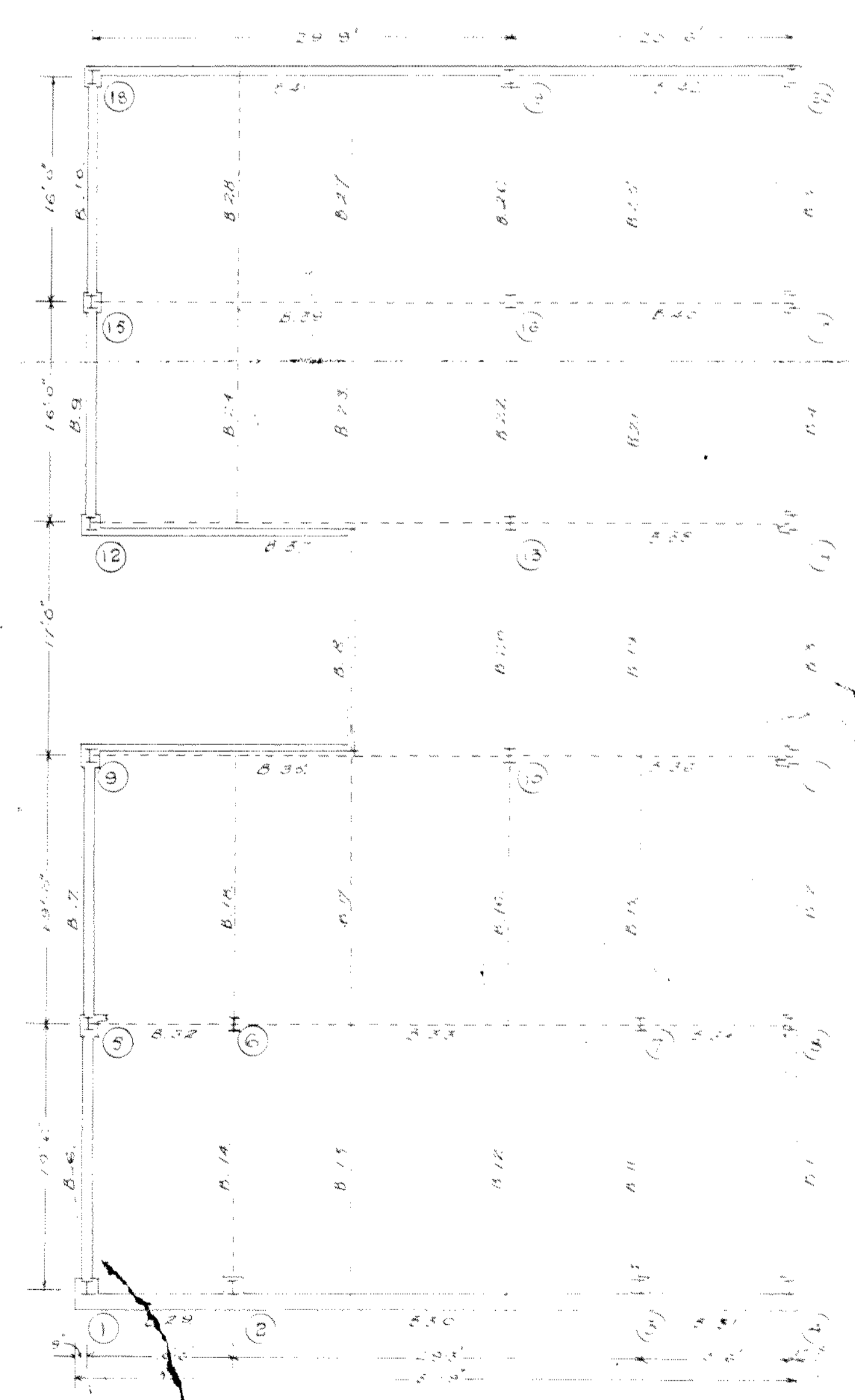
WILLIAM FELDING
L.R.I.B.A. (N.Z.)
ARCHITECT
54 WELLS STREET
WELLINGTON

DRAWING NO. 1000
SHEET NO. 1
PLAN - 1st FLOOR
TRACED BY G.A.T.
DATED FEB 22

NOTE: TOP OF ALL FOOTINGS
EXCEPT NO. 15, 16, 17, 19, 20
TO BE 2' 0" BELOW GRADE
FLOOR LEVEL.
15, 16, 17, 19, 20 TO BE
4" BELOW GRADE
FLOOR LEVEL.



KEY PLAN
Showing distribution of beams supporting 1st floor



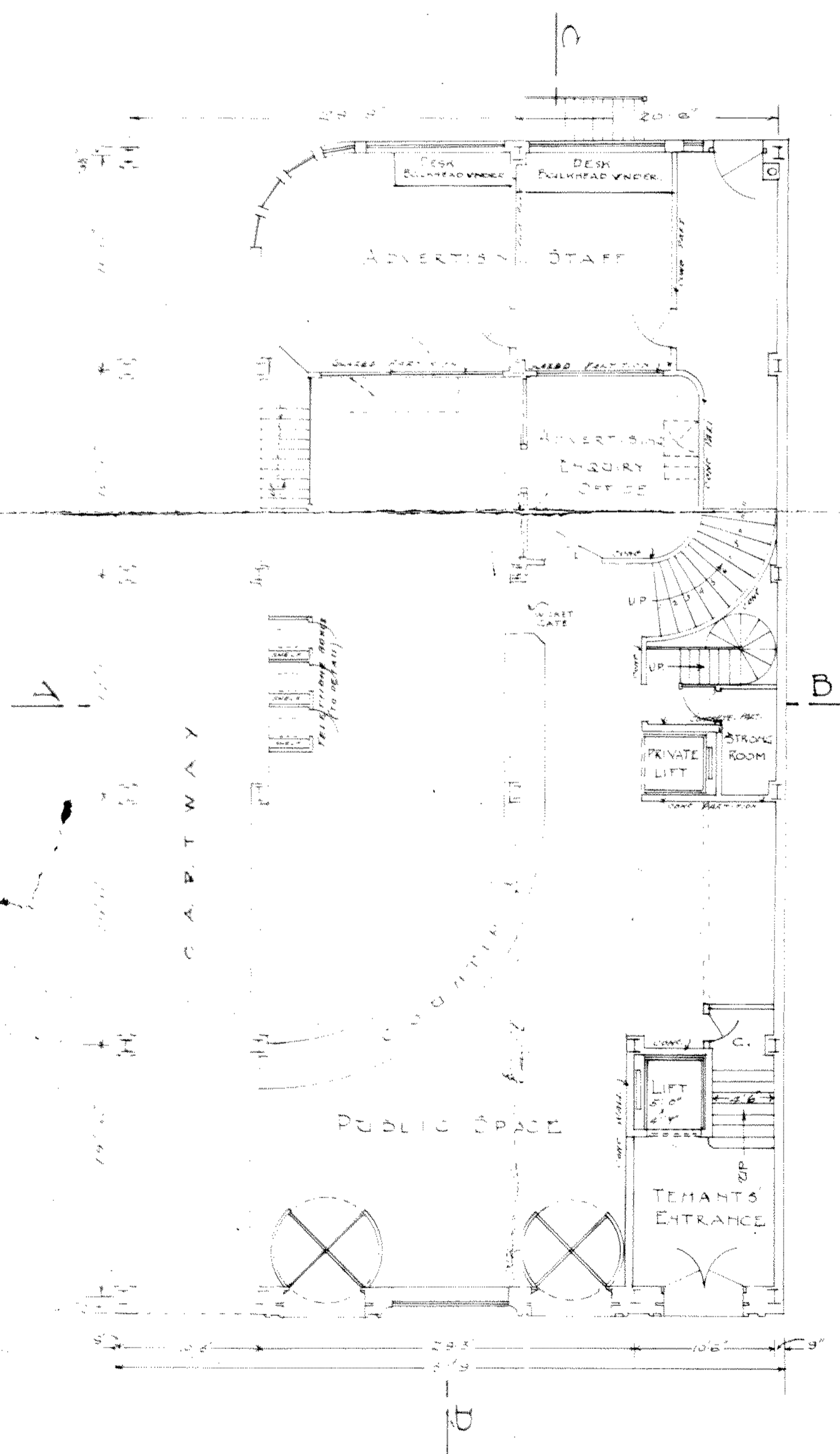
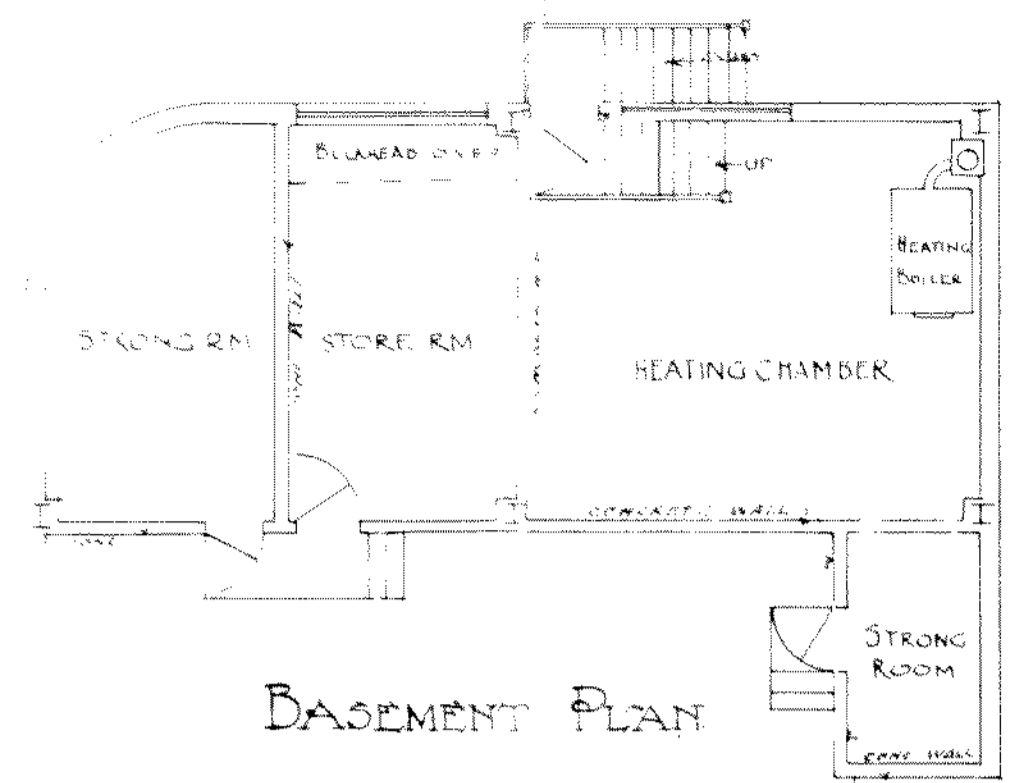
KEY PLAN
Showing distribution of beams supporting 2nd floor

SCALE: 8 FEET = 1 INCH

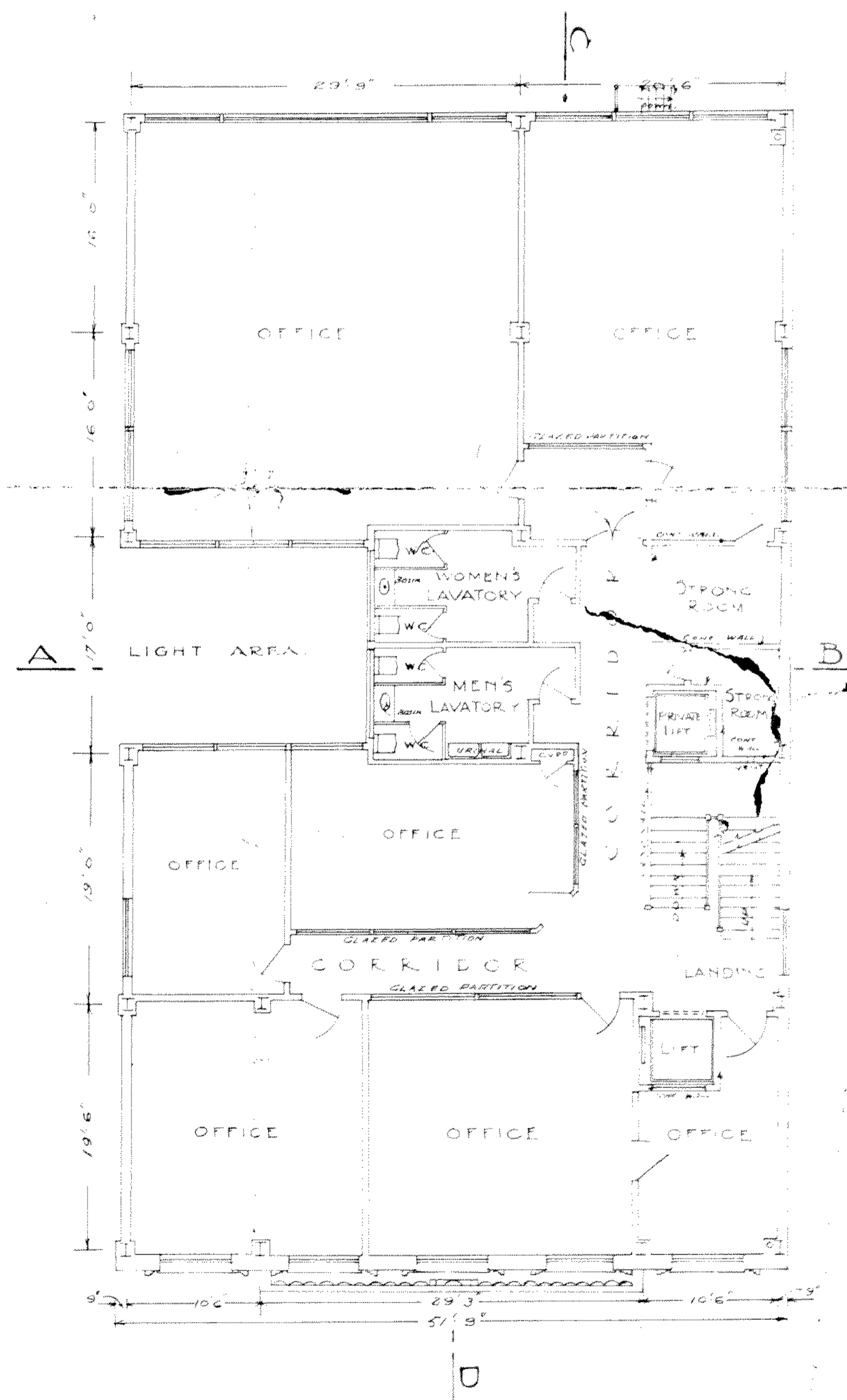
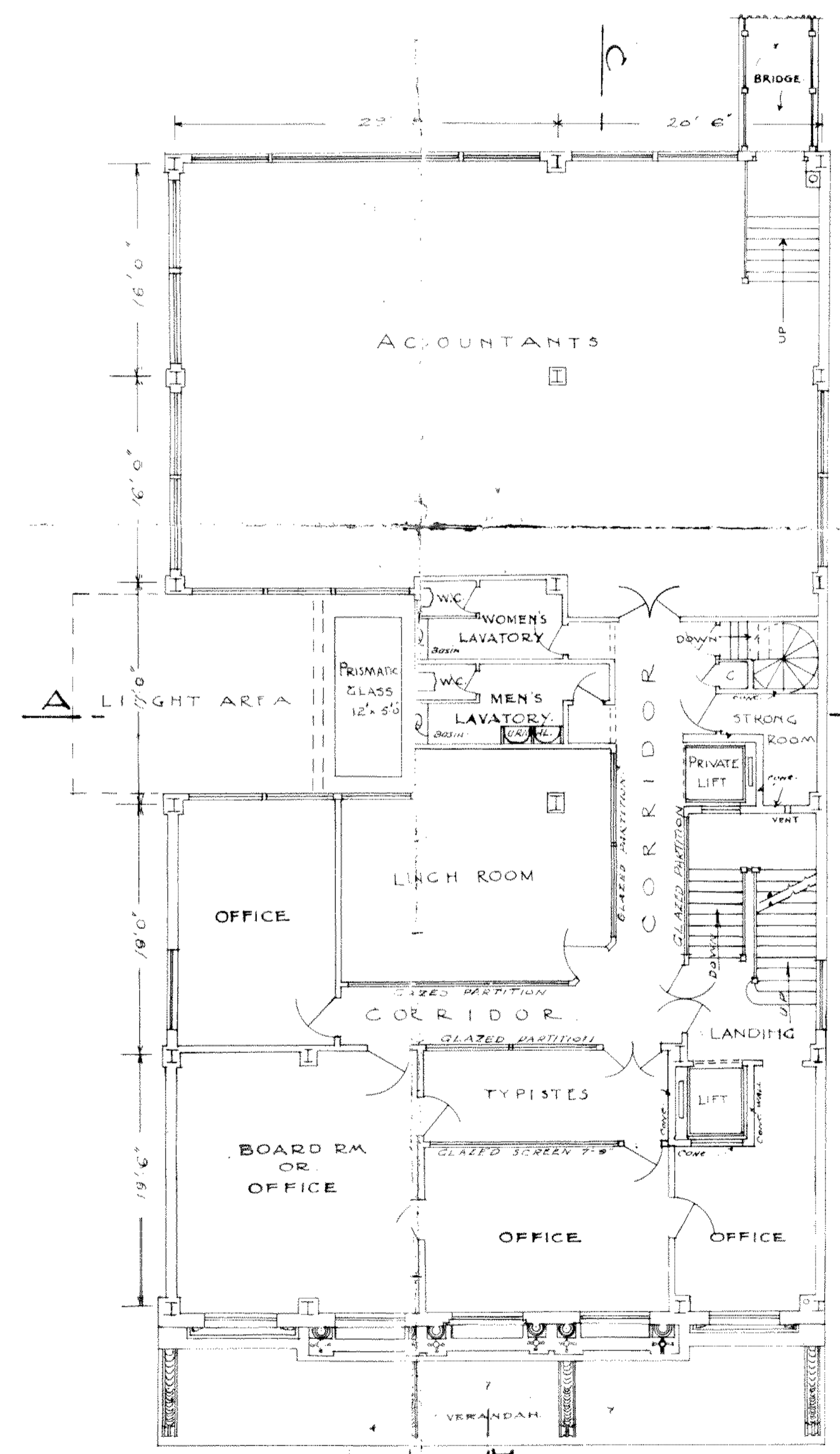
EVENING POST BUILDINGS WILLIS ST., WELLINGTON

WILLIAM FIELDING
L.R.I.B.A. ENZIA
ARCHITECT
84 WILLIS STREET
WELLINGTON.

DRAWING NO 106 2
SHEET NO 2
DRAWN BY W.F.
TRACED BY GART
DATED FEB. 1927



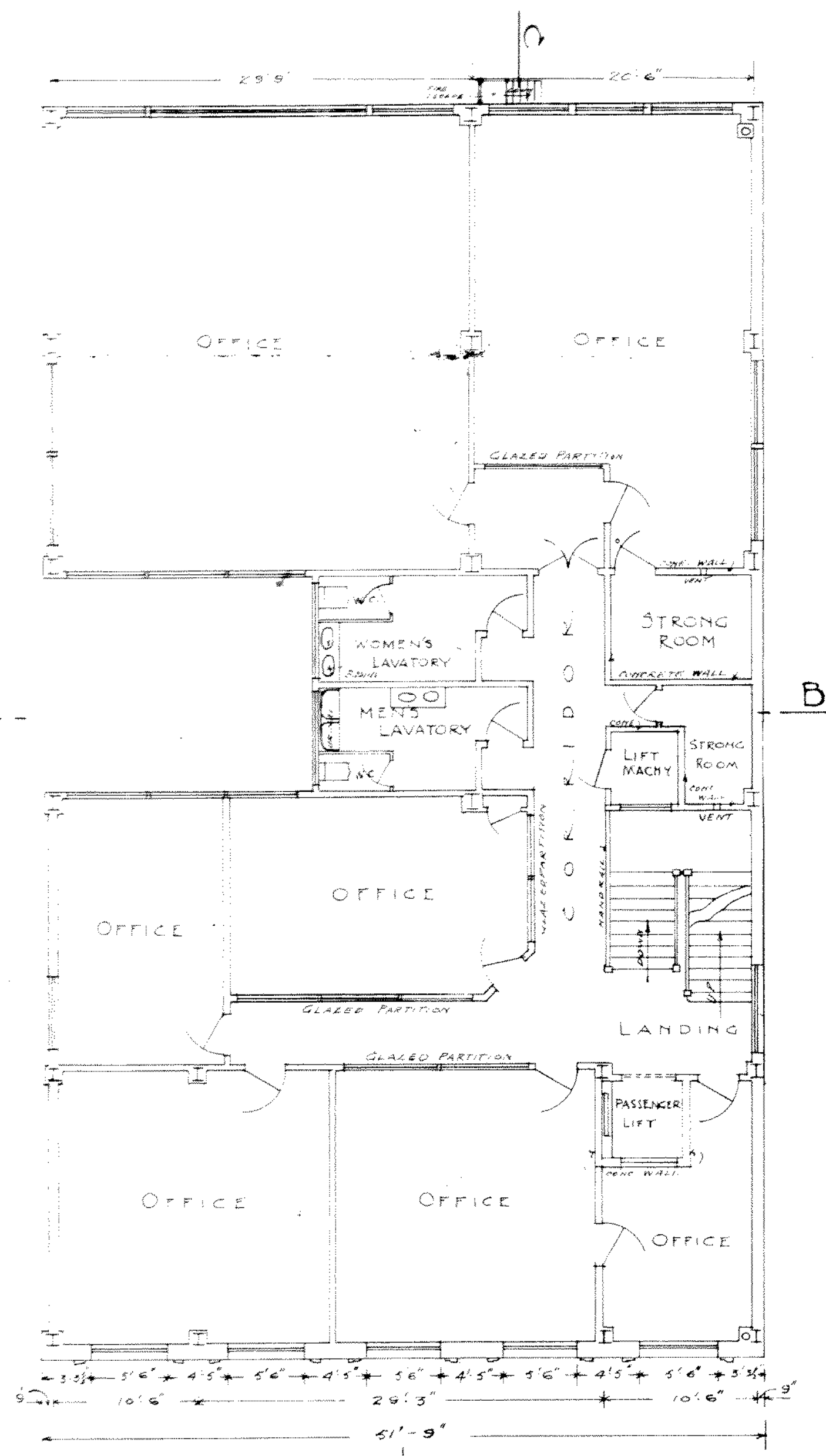
SCALE 3/16" = 1" INCH



EVENING POST
BUILDINGS
WILLIS ST WELLINGTON

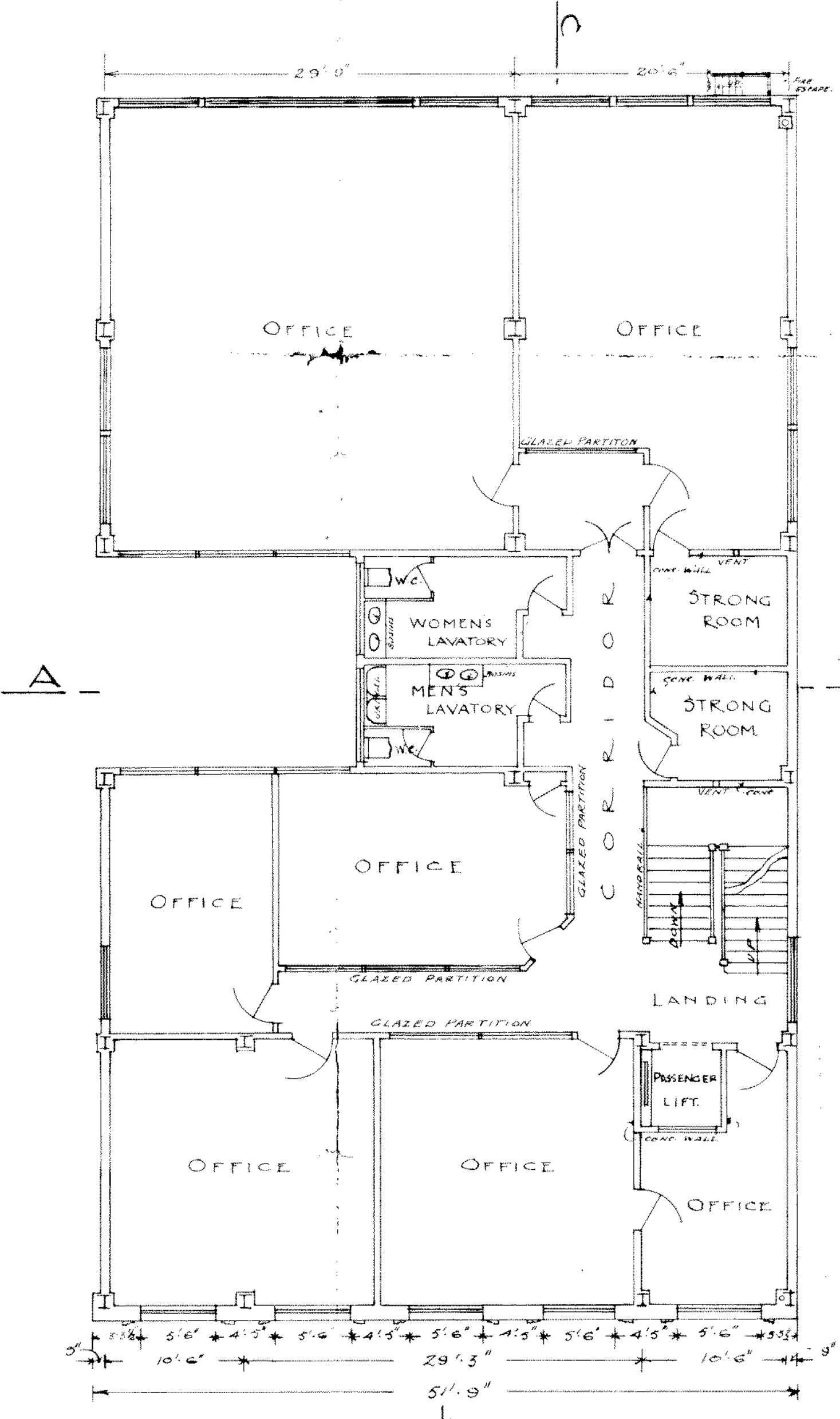
WILLIAM FIELDING
L. RIBA FNZIA,
ARCHITECT,
84 WILLIS STREET,
WELLINGTON.

DRAWING No 106/2
SHEET No 3
DRAWN BY W.F.F.
TRACED BY G.A.T.
DATED: FEB 1927.

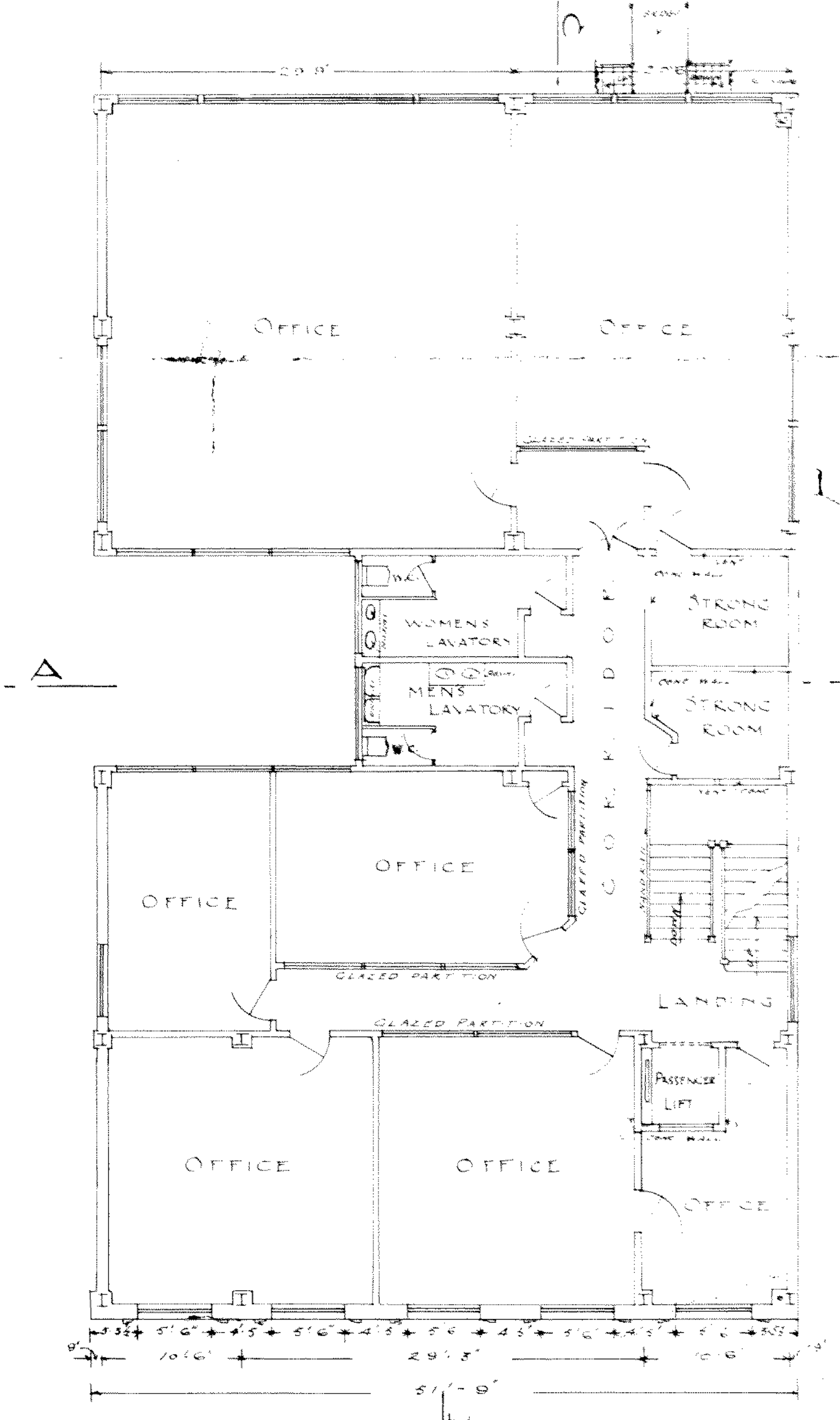


THIRD FLOOR.

SCALE 8 FEET = 1 INCH



FOURTH FLOOR

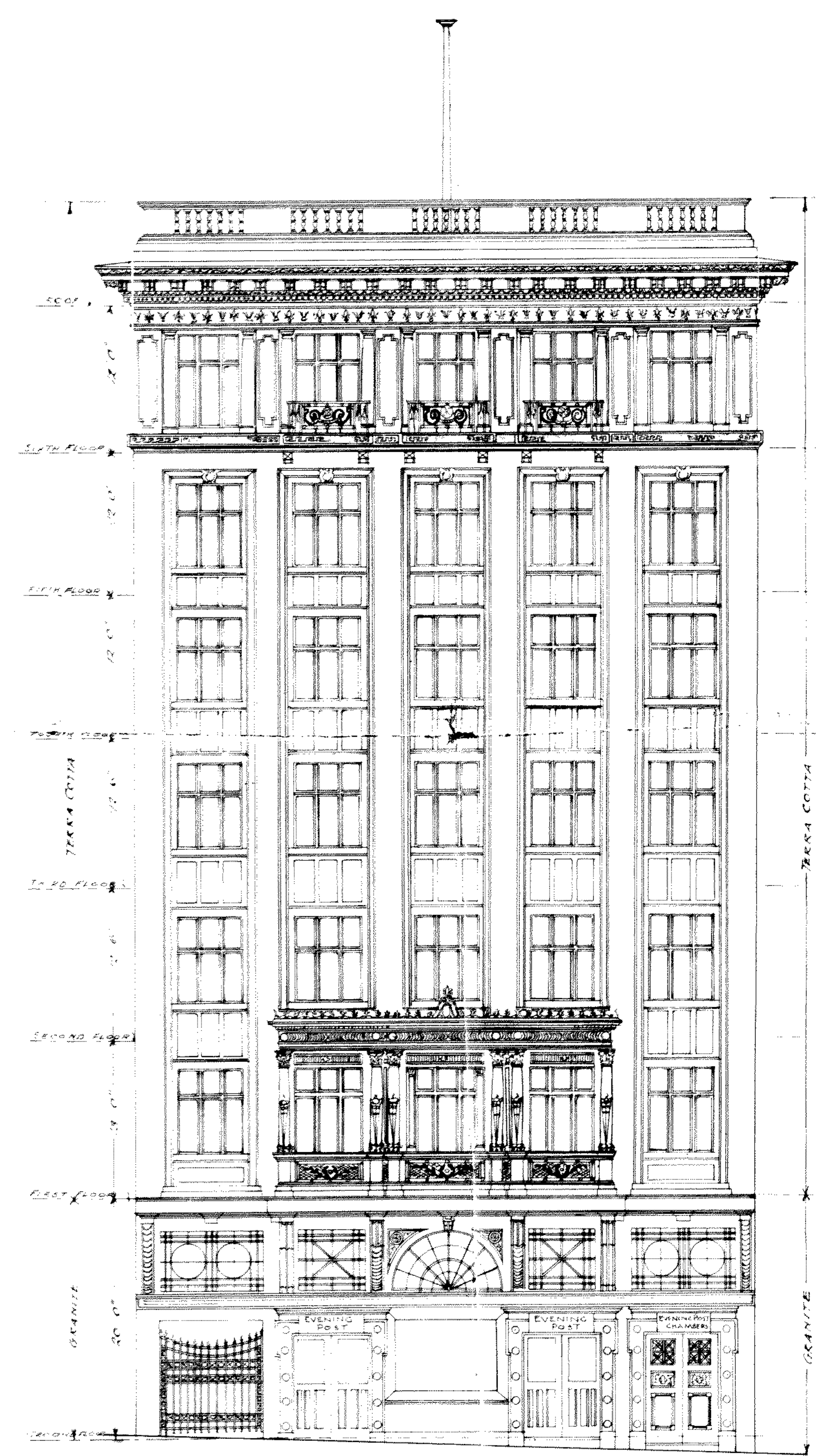


FIFTH FLOOR.

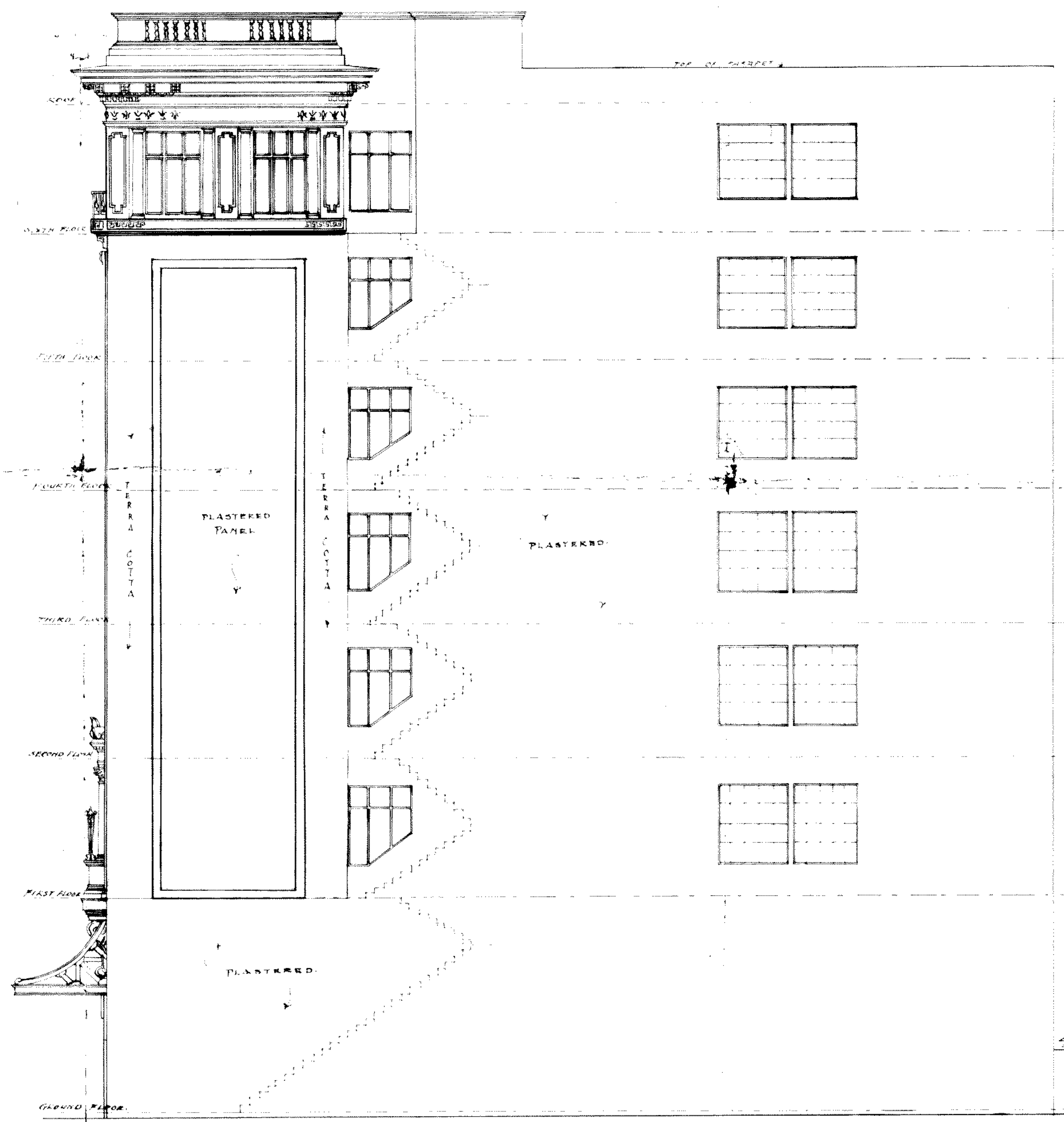
EVENING POST
BUILDINGS
WILLIS ST., WELLINGTON

WILLIAM FIELDING,
L.R.I.B.A. (INDIA),
ARCHITECT,
84 WILLIS STREET,
WELLINGTON.

DRAWING NO. 106/2
SHEET NO. 5
DRAWN BY K.W.H.
TRACED BY G.S.T.
DATED FEB 1927



ELEVATION TO WILLIS STREET



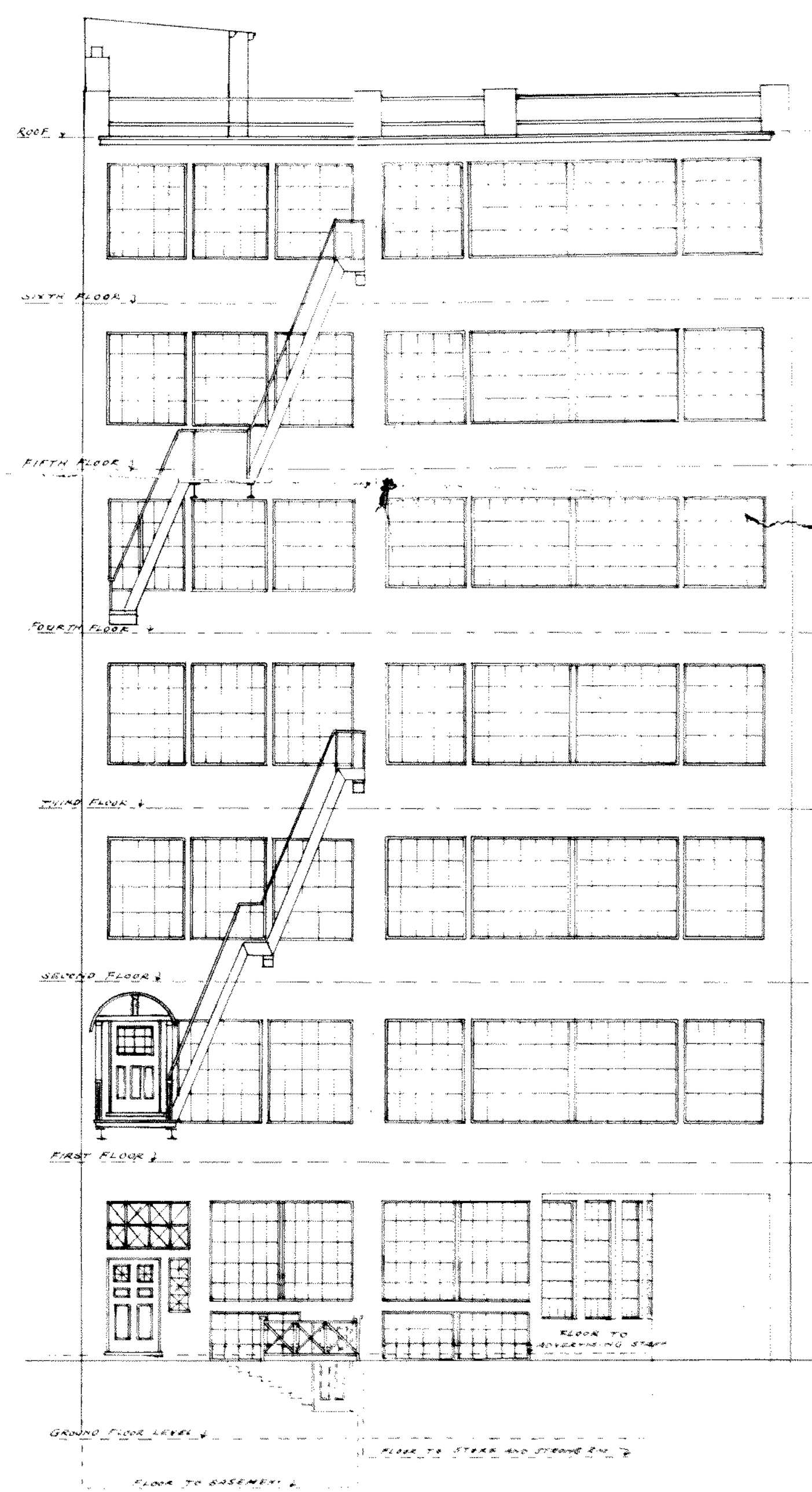
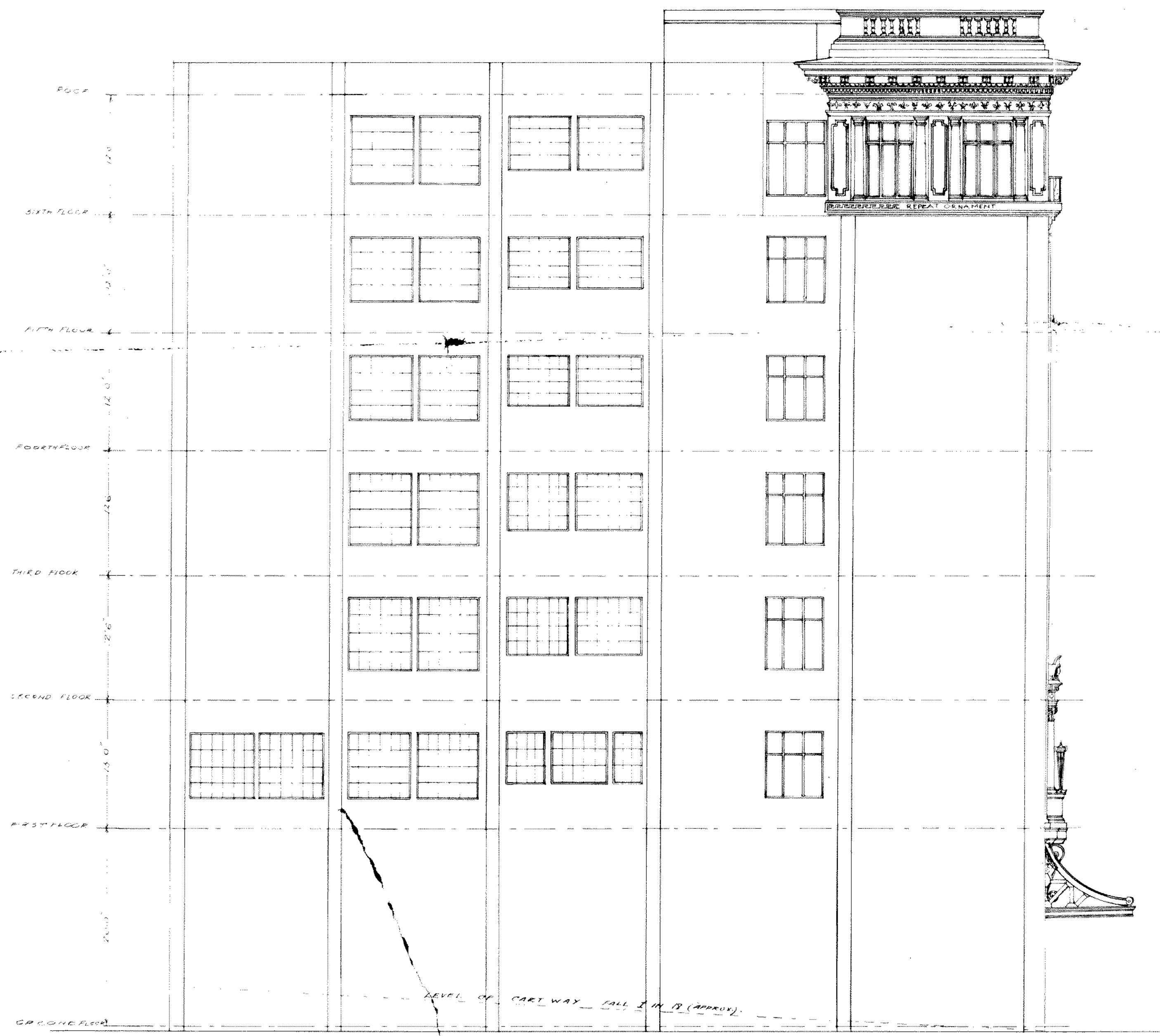
NORTH ELEVATION

SCALE 8 FEET = 1 INCH.

EVENING POST
BUILDINGS
WILLIS ST WELLINGTON.

WILLIAM FIELDING
L.R.I.B.A. F.R.I.A.
ARCHT. CT.
84 WILLIS STREET
WELLINGTON

DRAWING NO 1002
SHEET NO 6
DRAWN BY K.W.H.
TRACED BY G.A.T.
DATED FEB 1907



SCALE: 8 FEET = 1 INCH.

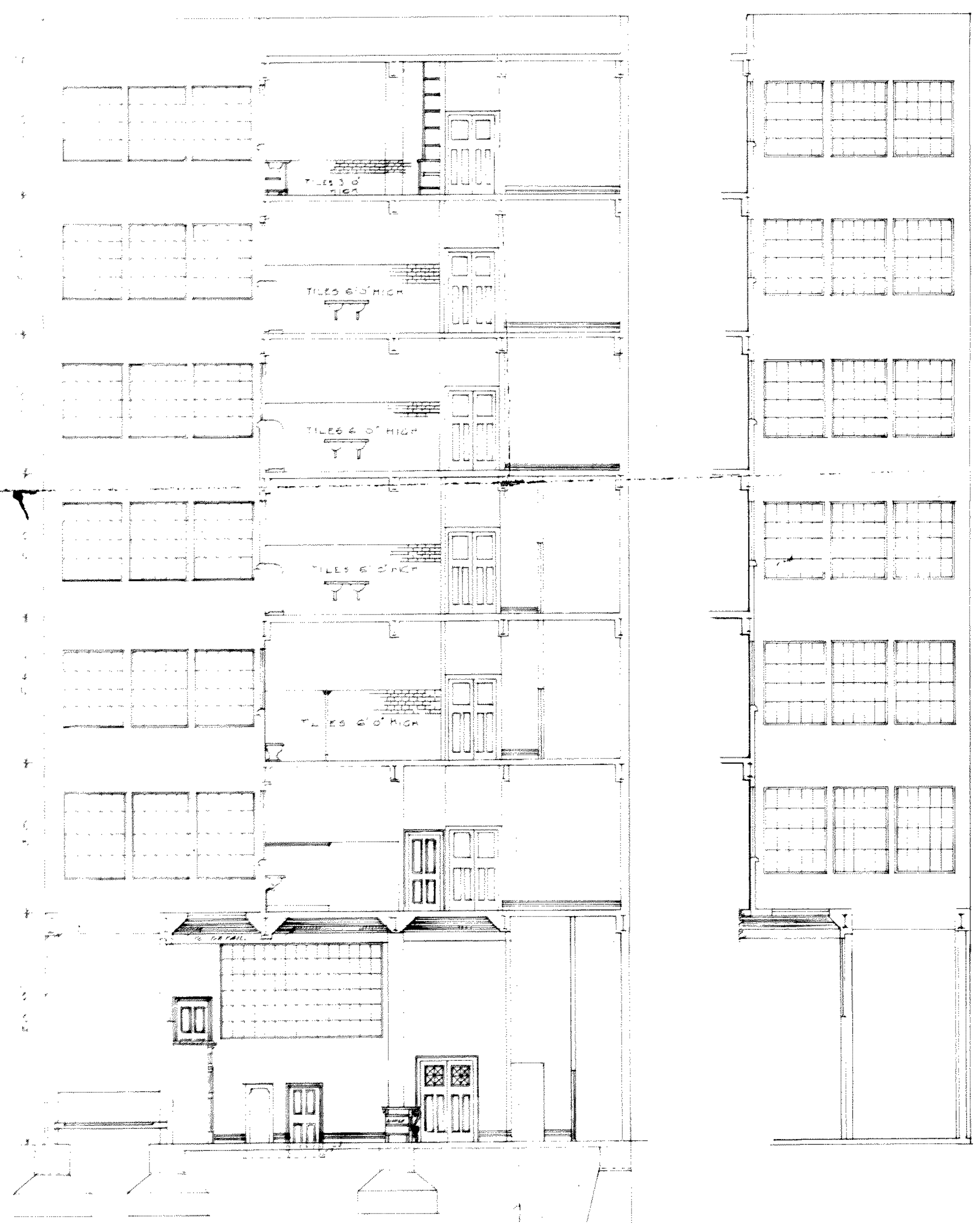
SOUTH ELEVATION

BACK ELEVATION

EVENING POST
BUILDINGS
WILLIS ST., WELLINGTON

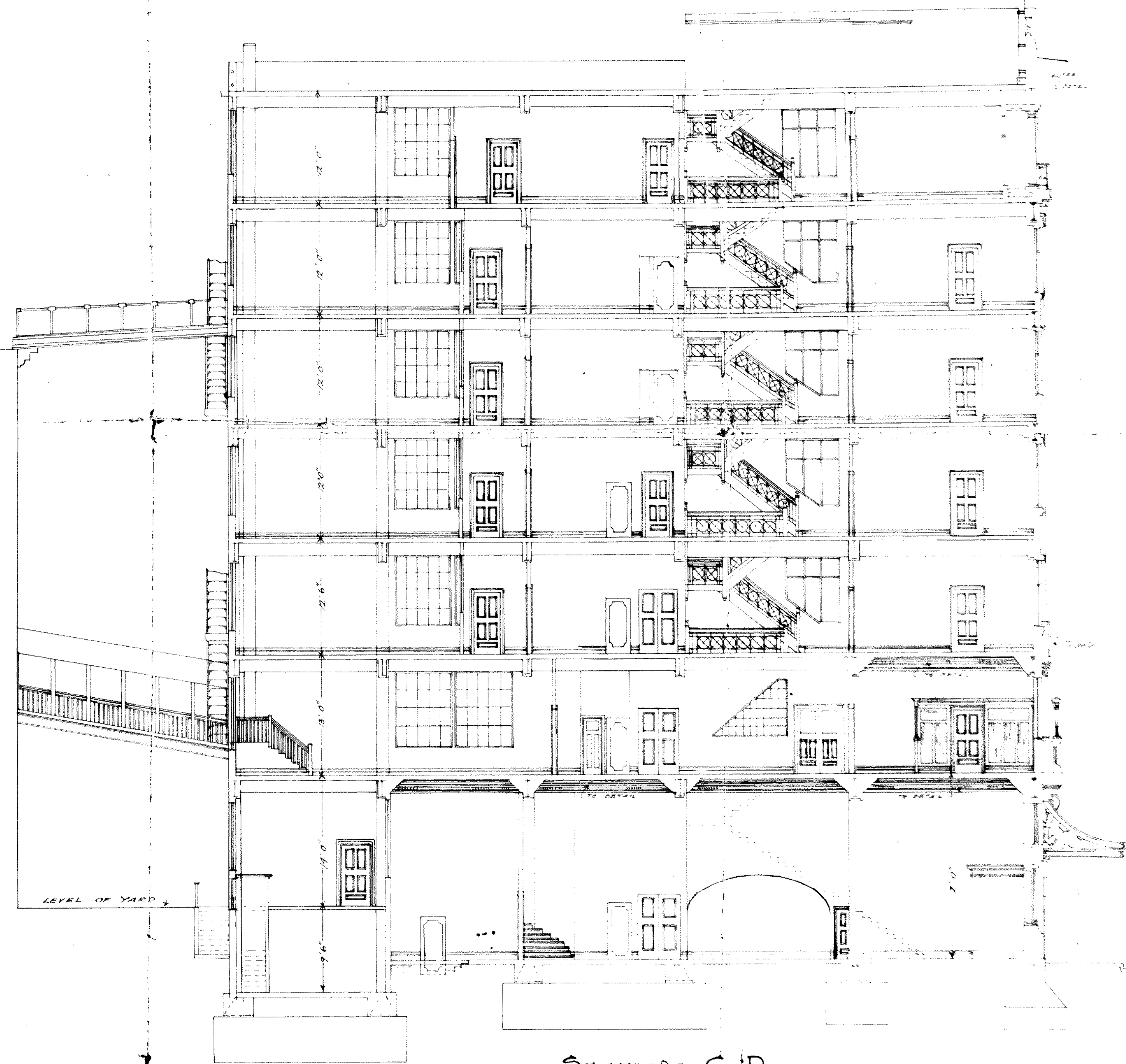
WILLIAM FIELING,
L.R.I.B.A., F.N.I.A.,
ARCHITECT,
84 WILLIS STREET,
WELLINGTON.

DRAWING No 106/2
SHEET No 7.
DRAWN BY K.W.H.
TRACED BY G.A.S.
DATED FEB. 1927.



SECTION A.B.

8 FEET - 1 INCH.



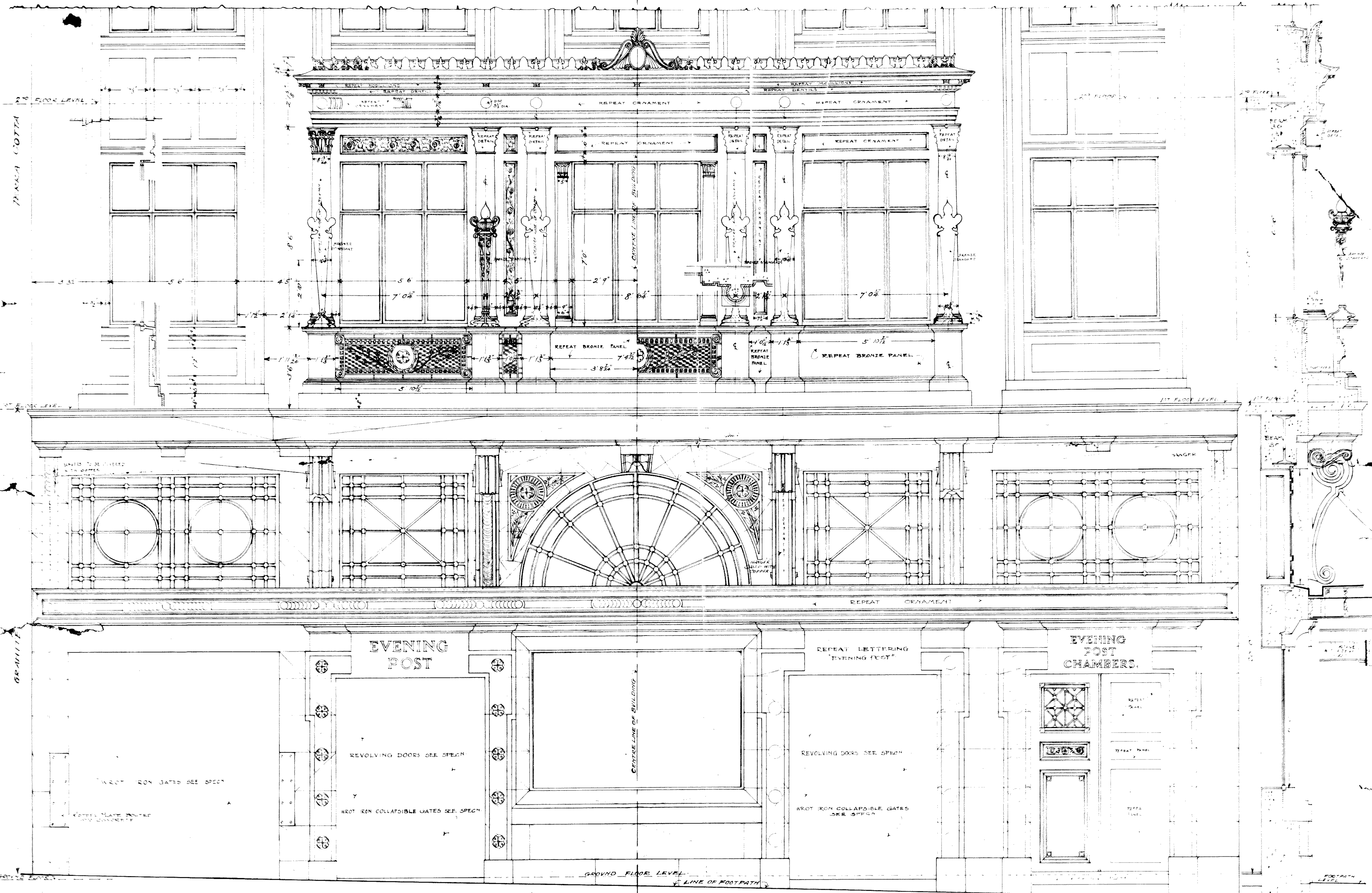
SECTION C.D.

DRAWING NO. 1062
SHEET NO. 8
DRAWN BY K.W.H.
TRACED BY K.W.H.
DATED FEB 1927

EVENING POST BUILDINGS, WILLIS ST., WELLINGTON.

WILLIAM FIELDING
LIC. R. B. A. F. A. I. A.
ARCHITECT
27 WILLIS STREET
WELLINGTON.

SHEET
NO. 8



SCALE: 1/2" = ONE FOOT

ELEVATION OF LOWER PORTION

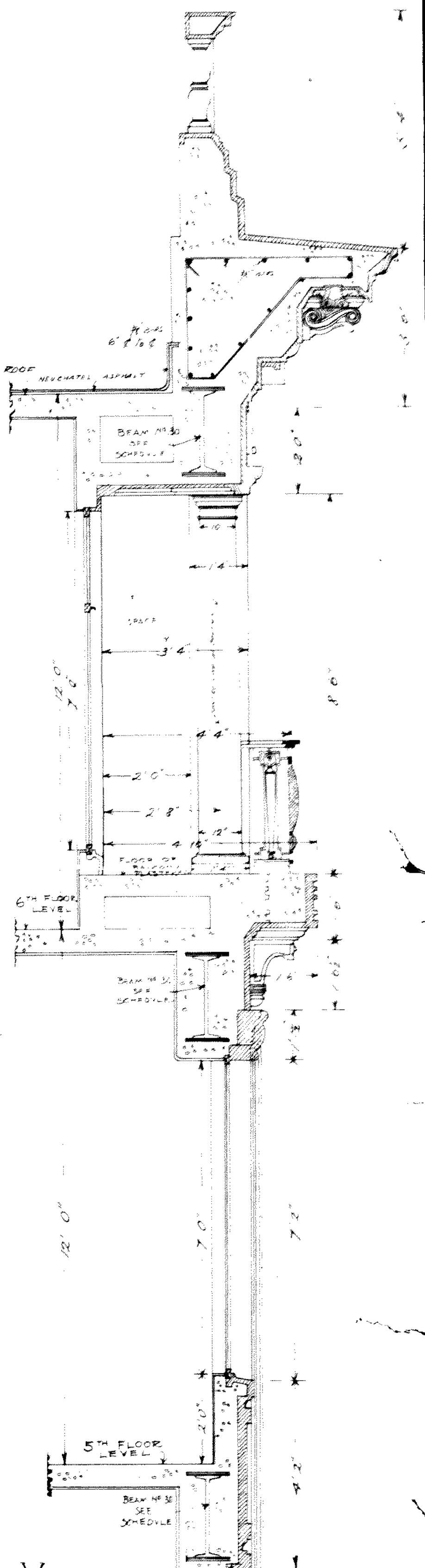
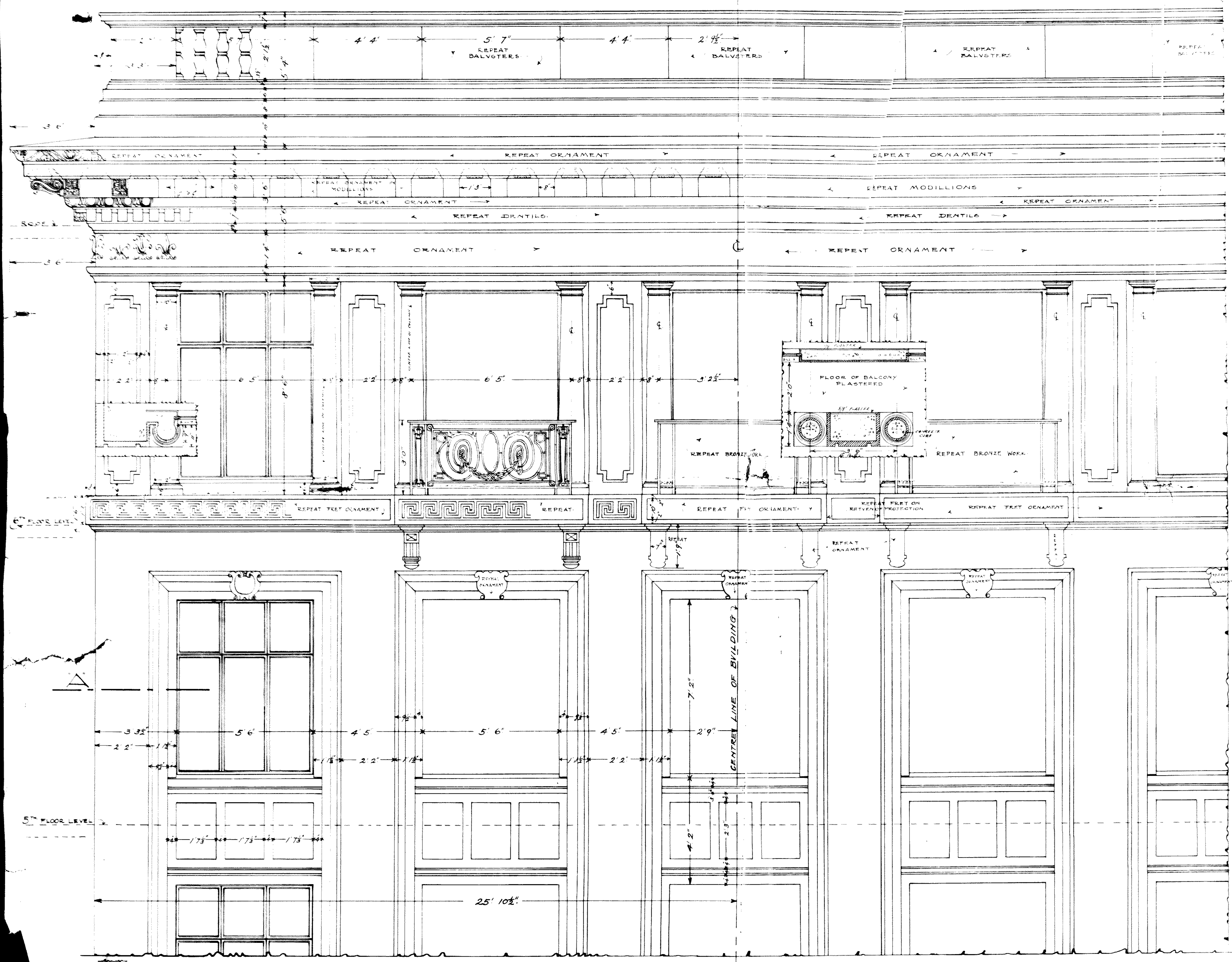
PLAN

VERTICAL SECTION
THROUGH CENTRE OF
BUILDING

DRAWING NO 1062
SHEET NO 103
DRAWN BY KWH
TRACED BY KWH
DATED FEB 1917

EVENING POST BUILDINGS WILLIS ST. WELLINGTON.

WILLIAM FIELDING,
LIC R. I. B. A. R. Z. I. A.
ARCHITECT
84 WILLIS STREET,
WELLINGTON.



VERTICAL SECTION THRU CENTRE OF BUILDING.

PART ELEVATION OF UPPER PORTION.

PLAN AT A

SCALE 1/2" = ONE FOOT

STANCHION NO 1
SEE SCHEDULE

STANCHION NO 2

STANCHION NO 3

STANCHION NO 4

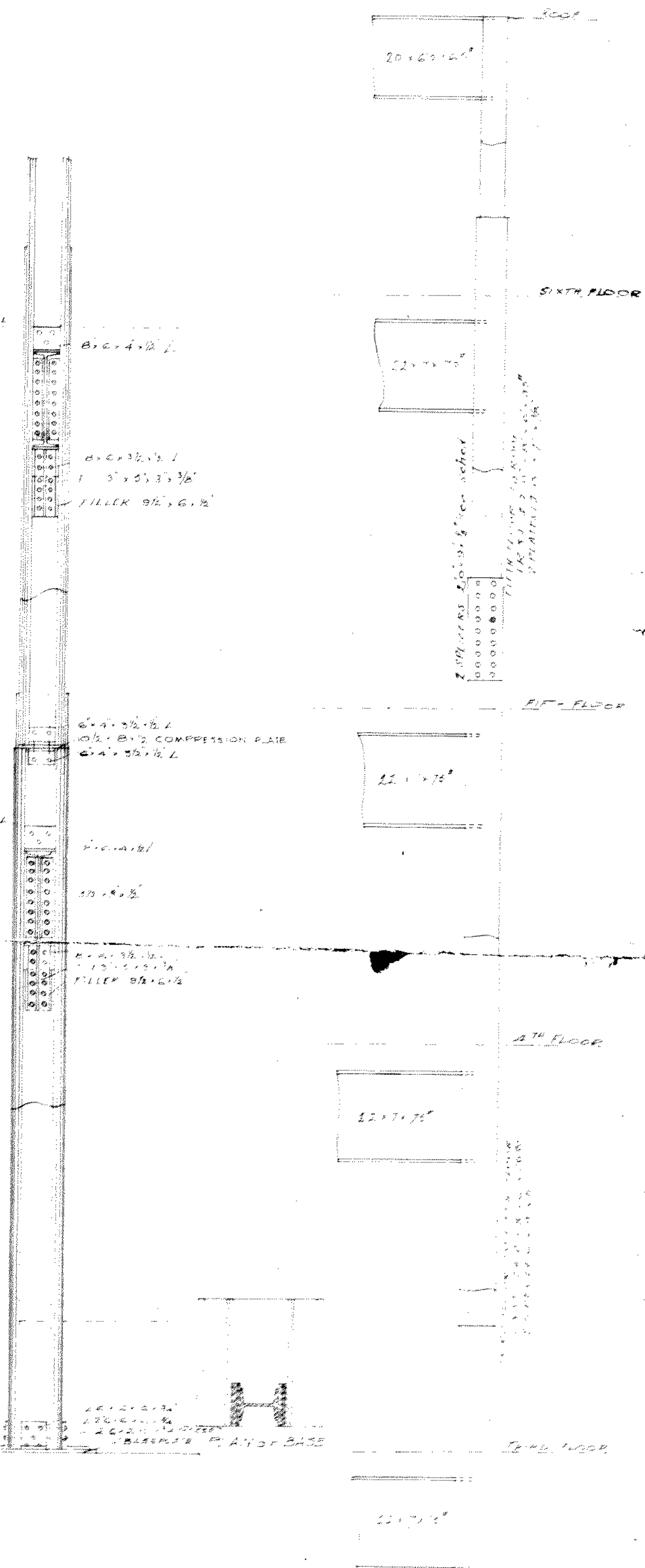
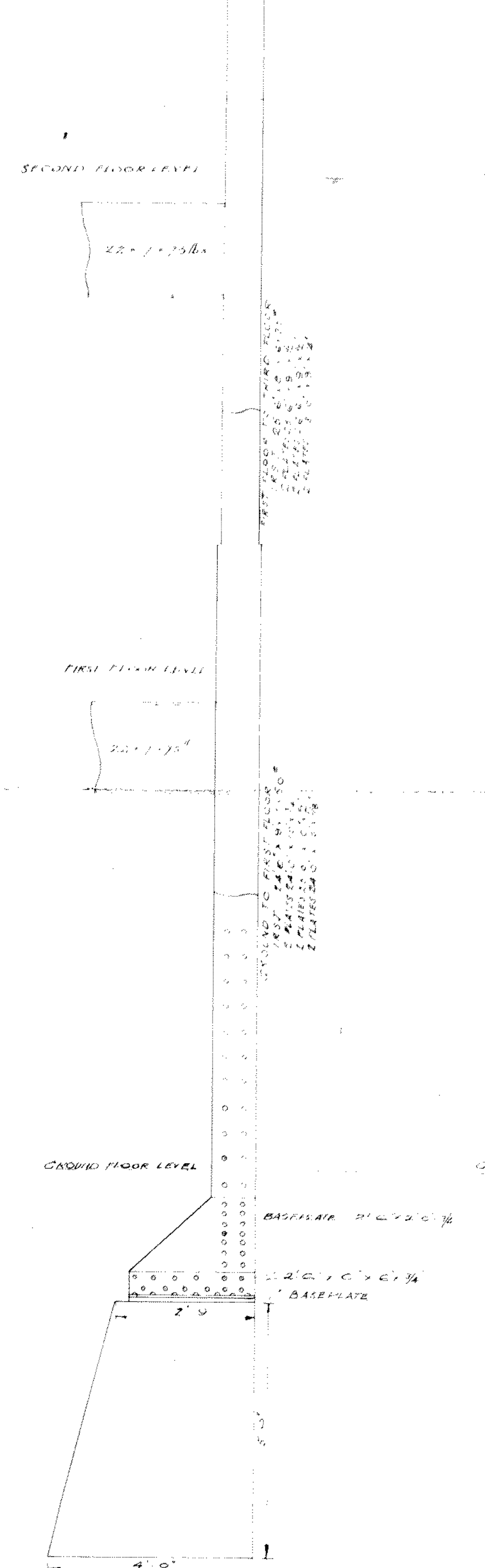
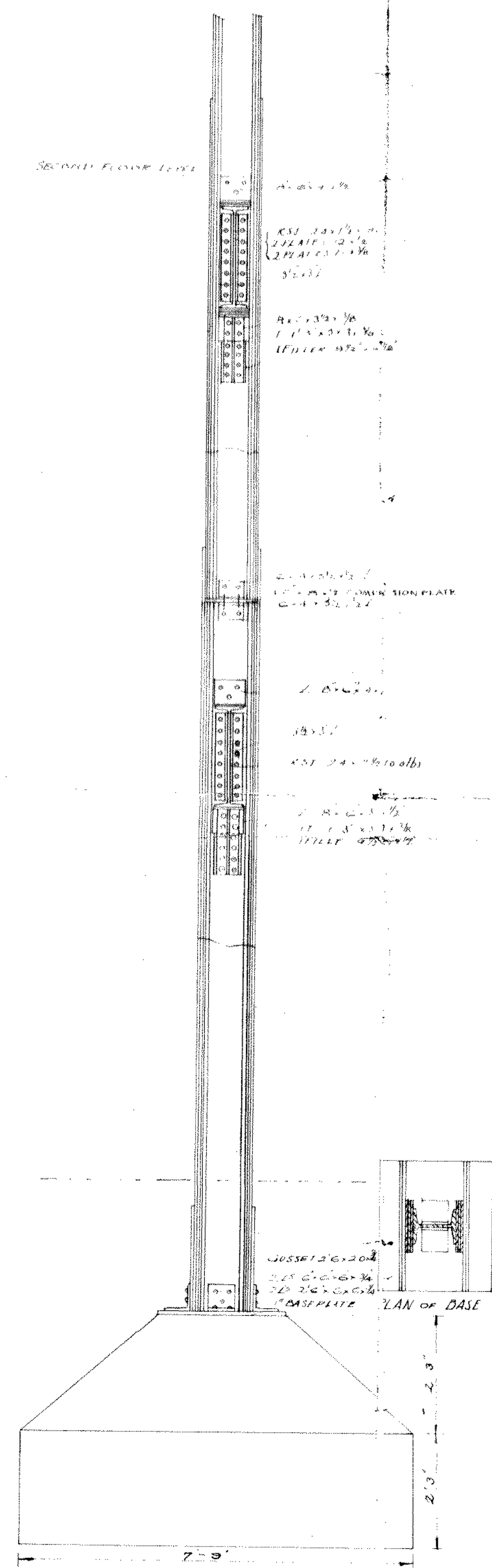
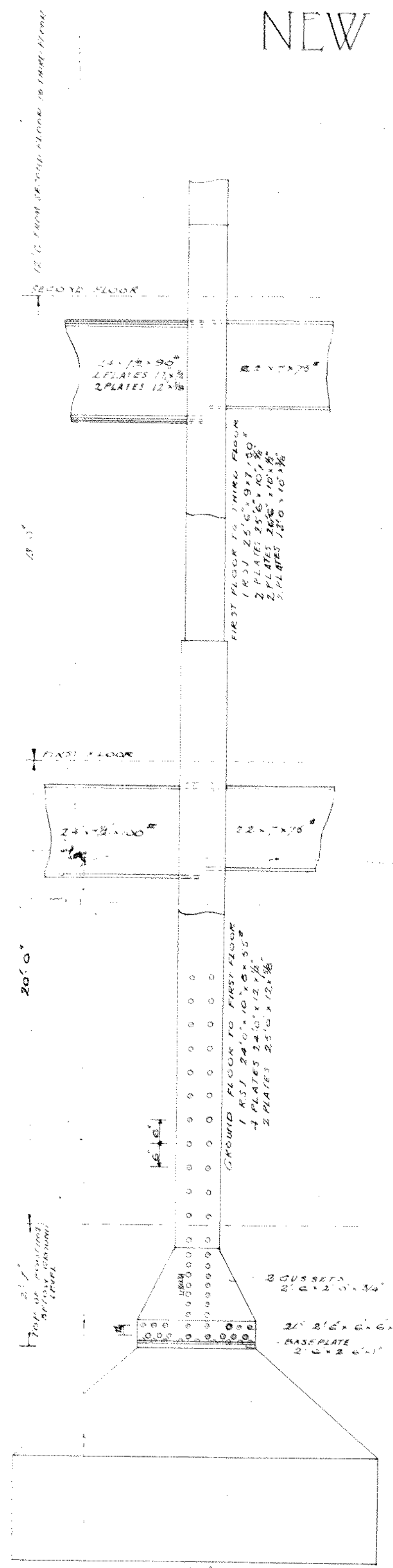
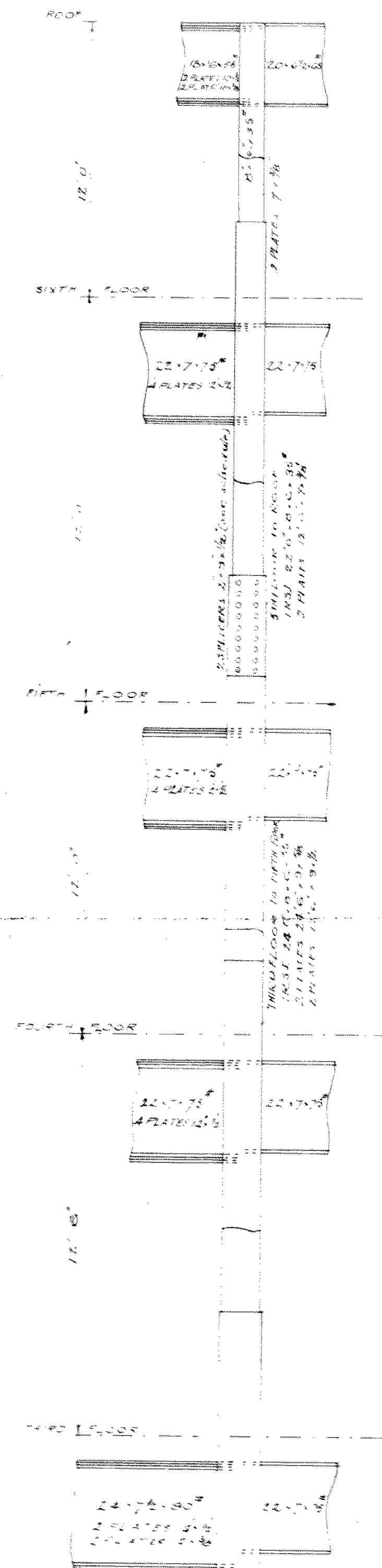
10' 6"

10' 6"

TYPICAL COLUMN AND BEAM DETAILS.

NEW BUILDING WILLS STREET WELLINGTON

FOR MESSRS BLYNDELL BROS. LTD.



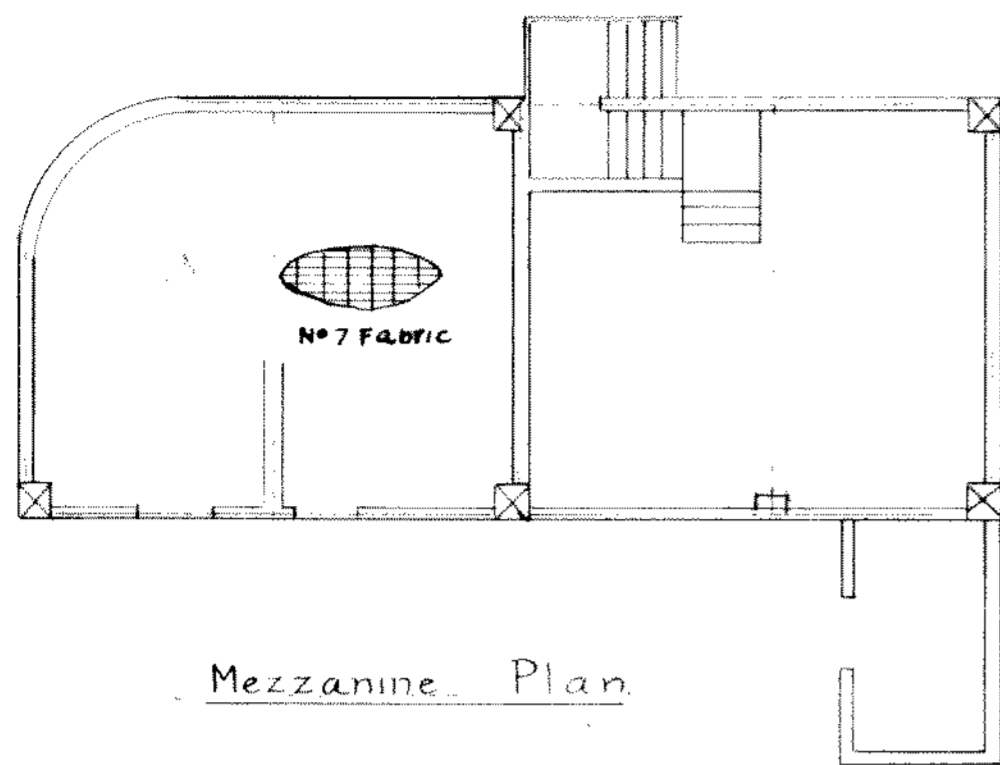
DRAWING NO. 106/2
 SHEET NO. 10
 DRAWN BY GART
 TRACED BY GART
 DATE: 28 5 27

SCALE - HALF INCH = ONE FOOT.

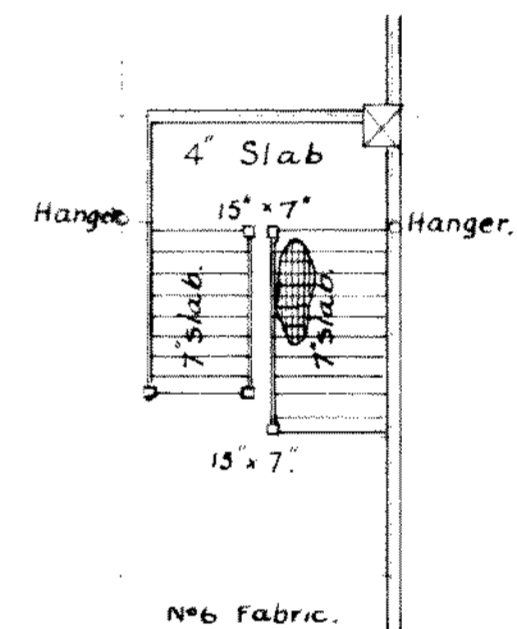
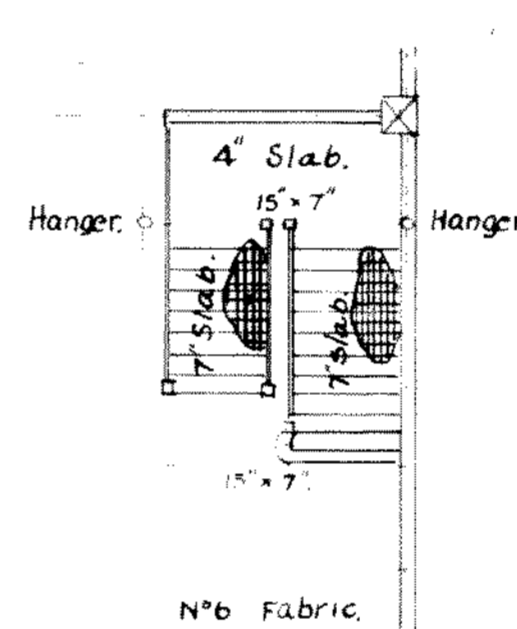
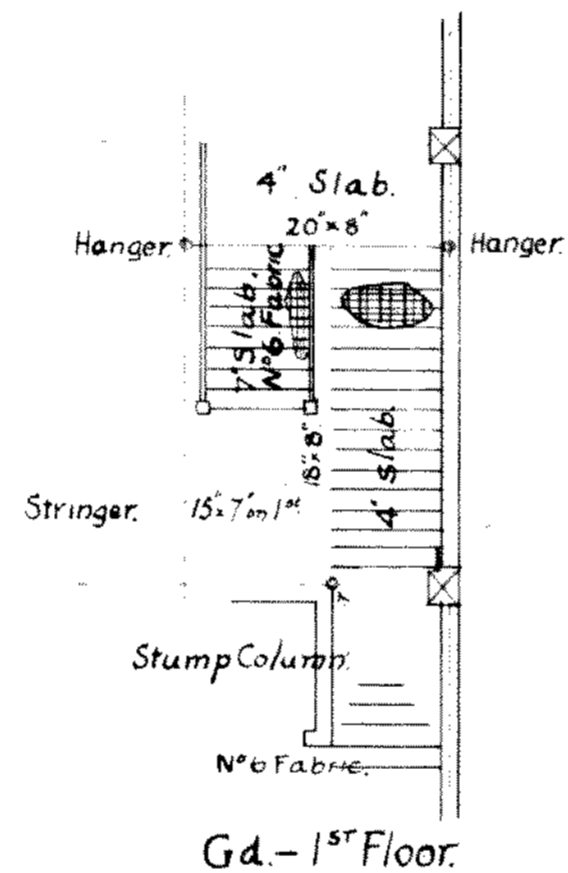
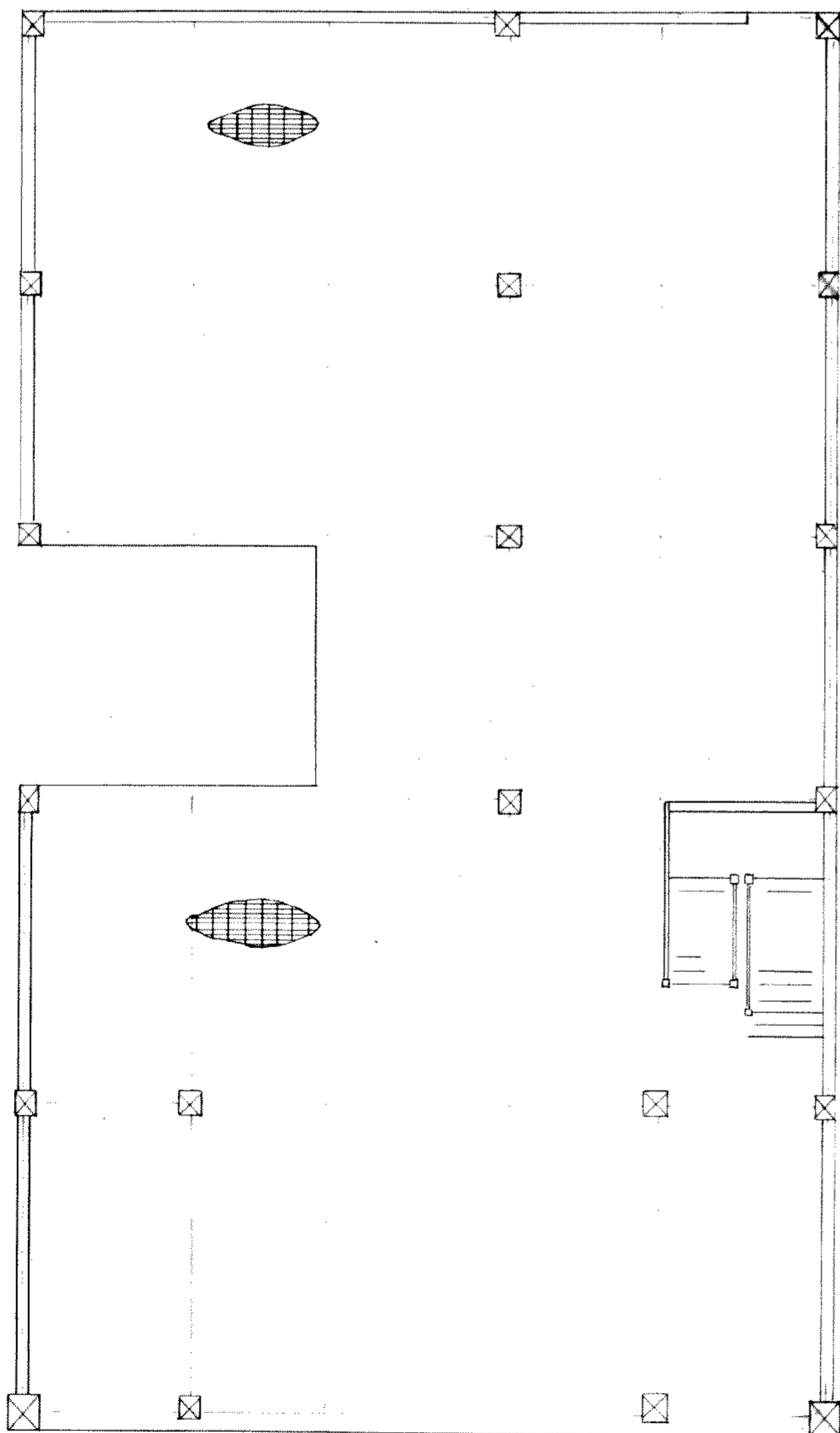
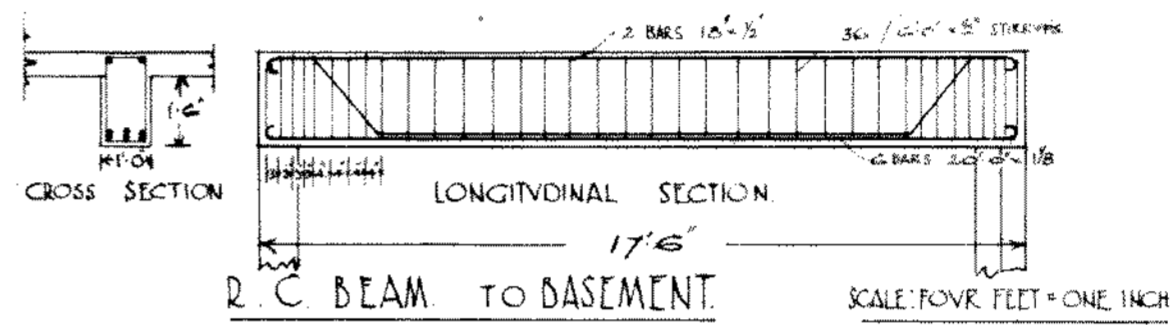
HALF INCH DETAIL OF STANCHION NO. 10.

HALF INCH DETAIL STANCHION NO. 11

HILL & FIELDING
 CIVIL ENGINEERS
 ARCHITECTS
 WELLINGTON



EVENING POST BUILDINGS WILLIS ST., WELLINGTON FOR MESSRS BLVDDELL BROS., LTD.



STAIRS.

Hangers 1-7/8"

Stringers.

Size	Reinf'tment	Stirrups	Spaced
15" x 7"	2-1"	2 Leg 7/8" @ 4', 5', 6', 9', 12', 12' 1/2'	
18" x 8"	2-7/8"	None.	
20" x 8"	2-1"	2 Leg 7/8" @ 6', 6' 9", 12'	

All Floors & Roof 6" Slab
Roof N°8 B.R.C. Fabric
All Floors N°7 B.R.C. Fabric

DRAWING N° 106/2
SHEET N° 12.
DRAWN BY F.H.M.
TRACED BY H.G.A.C.
DATED 17.6.27.

WILLIAM FIELDING
L.R.I.B.A., F.N.Z.I.A.
ARCHITECT.
WELLINGTON.